



**CITY COUNCIL SPECIAL SESSION  
REMOTELY VIA WEBEX  
MONDAY, OCTOBER 19, 2020  
5:00 TO 5:30**

1. Call to Order
2. Interview:
  - 5:00 Chris Gardner – Whitefish Planning Board
  - 5:15 Tara Zimmerman – Whitefish Lake and Lakeshore Protection Committee
3. Public Comment
4. Appointments
  - a) Whitefish Planning Board – One (1) position, complete term ending 12/31/2021 – Mayoral Appointment
  - b) Whitefish Lake and Lakeshore Protection Committee – One (1) position, complete term ending 12/31/2020, for City Lakefront Owner resides inside city limits, Council Appointment and **can extend term to expire 12/31/2022**

\*\*If time runs out before appointments are made, there will be time at the end of the regular session\*\*

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**CITY COUNCIL WORK SESSION  
REMOTELY VIA WEBEX  
MONDAY, OCTOBER 19, 2020  
5:30 PM TO 7:00 PM**

5. Review the City of Whitefish Annual Affordable Housing Report and review recommended changes to the Legacy Home Program
6. Public Comment
7. Direction to City Manager
8. Adjourn

To register to attend the meeting, and provide live comment via WebEx on your computer, tablet or smartphone, residents and other attendees should go to the following web address and register.

[City Council Remote Meeting](#)

**Event Number : 146 268 8020**

- Once registered, you will receive a calendar invite; in most cases it will automatically be added to your email calendar. The calendar invite contains the information to join the meeting via WebEx on your smartphone or computer. Attendees will not be able to join the meeting until approximately 5 minutes prior to the meeting time. OR
- **For the Audio Conference Call option:** call the number below and enter the access code.
  - United States Toll: **+1-408-418-9388**
  - United States Toll Free: (From a land line phone) **+1-844-992-4726**
  - **Access code: 146 268 8020**
- **For the Audio Conference Call Back option:** register your phone number to receive a WebEx system call back when the meeting is set to begin, you will need to provide your phone number when you join the event, or call the number below and enter the access code.
  - United States Toll: **+1-408-418-9388**
  - United States Toll Free: (From a land line phone) **+1-844-992-4726**
  - **Access code: 146 268 8020**



## **PUBLIC NOTICE**

### **VACANCIES ON CITY BOARDS/COMMITTEES**

**BOARD OF ADJUSTMENTS** - One (1) positions, to complete term ending 12/31/2020 Applicant shall reside within the corporate city limits of Whitefish. The Committee meets as needed, the first Tuesday of the month at 6:00 p.m.

**BOARD OF PARK COMMISSIONERS** – One (1) position, complete term ending 5/1/2022. Applicant must have resided within the city limits for 2 years and within the State for 3 years and must be at least 21 years old. The Committee meets on the second Tuesday in the evening.

**WHITEFISH LAKE AND LAKESHORE PROTECTION COMMITTEE** – One (1) position complete the term ending 12/31/2020. Applicant shall be lakefront property owner and reside within the corporate limits of the city of Whitefish. The Committee meets the second Wednesday in the evening.

**WHITEFISH PLANNING BOARD** – One (1) position, complete the term ending December 31, 2021. Applicant shall reside within city limits of Whitefish and shall be qualified by knowledge and experience in matters pertaining to the development of the city. This Committee meets the 3<sup>rd</sup> Thursday of the month at 6:00 p.m.

**POLICE COMMISSION** – One (1) position, complete term ending May 2021. Applicant shall reside within city limits of Whitefish and maintain residency within the city for one year prior to appointment. Commission meets as needed.

**BOARD OF APPEALS** – One (1) position, term not designated. The Board of Appeals determines suitability of alternate materials and methods of construction and to provide for reasonable interpretations of the International Building Code. Applicant must be qualified by experience or training to pass on matters pertaining to building construction. The Committee meets as needed.

**IMPACT FEE ADVISORY COMMITTEE** – One (1) positions. Applicants shall be a representative of the development community and shall reside or work within City limits. This Committee meets annually.

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**Interested citizens** – Please submit a letter of interest to serve on the above committees to the Whitefish City Clerk's Office at 418 E. 2<sup>nd</sup> St.; mail to P.O. Box 158, Whitefish, MT 59937, or email [mhowke@cityofwhitefish.org](mailto:mhowke@cityofwhitefish.org). Letters of interest will be accepted until the positions are filled. If you have any questions, please call Michelle Howke, City Clerk at 863-2402 or visit the City's website: [www.cityofwhitefish.org](http://www.cityofwhitefish.org) \*THANK YOU FOR YOUR INTEREST\*

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## Michelle Howke

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**From:** Chris Gardner [REDACTED]  
**Sent:** Thursday, September 24, 2020 1:34 PM  
**To:** Michelle Howke  
**Subject:** Whitefish Planning Board Vacancy

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Hi Michelle,

I'm reaching out today to express my interest in joining the City of Whitefish Planning Board. I am a current resident and registered voter in the City. I also have a current City Business License and a licensed Short-Term Rental within the City. For the last 5 plus years I have been involved in value added multifamily real estate re-development and urban infill projects. I hold a Washington State Real Estate Brokers license, currently inactive status. Previously, I owned a Geographic Information Systems company with a primary focus on system integration for Utility organizations. Before that I held jobs as GIS Technical Manager and GIS Analyst for private consulting firms, Hydrology Technician for Potlach Corporation, and Biology Technician for the US Forest Service.

I grew up in McCall Idaho, a mountain resort town similar to Whitefish. There, I witnessed many of the growing pains that Whitefish is currently experiencing. I saw first-hand how thoughtful planning can contribute to the community's livability and how, if planned poorly, will have long term undesirable effects. With the unprecedented recent growth in the Flathead valley and Whitefish in particular, the next few years will be pivotal in deciding the direction of the community for generations. I believe my experience and knowledge could be a valuable addition to the Planning Board.

Please let me know if you have additional questions. I look forward to hearing from you.

Regards,  
Chris Gardner, GISP  
[REDACTED]  
Whitefish MT 59937  
[REDACTED]

EXTERNAL SENDER verified by City of Whitefish IT

# Chapter 15

## WHITEFISH PLANNING BOARD

### 2-15-1: STANDING COMMITTEE ESTABLISHED:

Pursuant to and under the provisions of title 76, Montana Code Annotated, the city council of the city of Whitefish does create and establish a city planning board to be known as the "Whitefish planning board" consistent with state law. (Ord. 14-08, 9-15-2014)

### 2-15-2: PURPOSE, POWERS AND DUTIES:

By this chapter, the city council of the city of Whitefish adopts all of the sections of the laws of Montana aforementioned that specifically pertain to a city planning board, granting and delegating to the Whitefish planning board all of the rights, privileges, powers, duties, and responsibilities thereto appertaining. The Whitefish planning board shall have such jurisdiction as provided by state law. (Ord. 14-08, 9-15-2014)

### 2-15-3: MEMBERSHIP:

The Whitefish planning board shall consist of seven (7) members, residing within the corporate limits of the city of Whitefish, to be appointed as follows:

- A. One member appointed by the city council from its own membership;
- B. One member appointed by the city council who, at the council's discretion, may be an employee of the city of Whitefish or hold public office in Whitefish or Flathead County;
- C. One member appointed by the mayor upon designation by the Flathead County board of commissioners, who may be a member of the board of county commissioners or an office holder or employee of the county; and
- D. Four (4) citizen members appointed by the mayor, who shall be qualified by knowledge and experience in matters pertaining to the development of the city.

Board members shall receive no compensation. (Ord. 14-08, 9-15-2014)

**2-15-4: TERMS; POSITIONS:**

Board terms shall be two (2) years. There are hereby created positions numbered 1 through 7 inclusive of the members of the Whitefish planning board. Members serving on the effective date of this chapter shall be assigned to positions that correspond with the following expiration dates:

Position Number	Term Expiration Date
1	December 31, 2015
2	December 31, 2015
3	December 31, 2015
4	December 31, 2015
5	December 31, 2016
6	December 31, 2016
7	December 31, 2016

As each of the above listed expiration dates has past, a member appointed to the position shall serve for a two (2) year term. Terms shall begin on January 1 following the initial expiration of the preceding term. At the discretion of the city council, members may be appointed for more than one term. (Ord. 14-08, 9-15-2014)

**2-15-5: REMOVAL OF MEMBER:**

A member of Whitefish planning board may be removed from the board by majority vote of the city council for cause upon written charges and after a public hearing. Wilful disregard of state statutes, city ordinances and the rules of procedure of the board, or absences from three (3) consecutive meetings, including regular and special work sessions, or absences from more than fifty percent (50%) of such meetings held during the calendar year shall constitute cause for removal. Circumstances of the absences shall be considered by the city council prior to removal. Any person who knows in advance of his or her inability to attend a specific meeting shall notify the chair or secretary of Whitefish planning board at least twenty four (24) hours prior to any scheduled meeting. (Ord. 14-08, 9-15-2014)

**2-15-6: VACANCY:**

Pursuant to sections [2-15-3](#) and [2-15-4](#) of this chapter, any vacancy on Whitefish planning board shall be filled by the city council acting in a regular or special session for the unexpired term of the position wherein the vacancy exists. The city council may appoint members of the city council to temporarily fill vacant positions on Whitefish planning board. (Ord. 14-08, 9-15-2014)

**2-15-7: ORGANIZATION:**

Whitefish planning board, at its first meeting after January 1 of each year, shall elect a chair and vice chair for the next twelve (12) month period. Upon the absence of the chair, the vice chair shall serve as chair pro tem. If a vacancy occurs in the chair or vice chair position, the board shall elect a member to fill the vacancy at the next meeting. (Ord. 14-08, 9-15-2014)

**2-15-8: MEETINGS; RULES AND REGULATIONS:**

Four (4) members of Whitefish planning board shall constitute a quorum. Not less than a quorum of the board may transact any business or conduct any proceedings before the board. The concurring vote of four (4) members of the board shall be necessary to decide any question or matter before the board, except a motion for a continuance and motions to elect a chair and vice chair may be decided by a simple majority vote of the board. The board shall adopt rules of procedure for the conduct of meetings consistent with statutes, the city charter, ordinances and resolutions. Meetings of the board shall be held at the call of the chair and at such other times as the board may determine. All meetings shall be open to the public. (Ord. 14-08, 9-15-2014)

**2-15-9: EXPENDITURE AUTHORIZED:**

Whitefish planning board shall not have authority to make any expenditures on behalf of the city or disburse any funds provided by the city or to obligate the city for any funds except as has been included in the city budget and after the city council shall have authorized the expenditure by resolution, which resolution shall provide the administrative method by which funds shall be drawn and expended. (Ord. 14-08, 9-15-2014)

Volunteer Committee List

**WHITEFISH PLANNING BOARD- WCC 2-15 MEET 3RD THURSDAY OF THE MONTH - 2 YEAR TERMS**

Councilor Steve Qunell	PO Box 158	808-298-2575	12/31/2022
Councilor -Frank Sweeney- Alternate	PO Box 158	863-4848 (o)	12/31/2022
Scott Freudenberger	1295 Lion Mountain Drive	406-253-6876	12/31/2021
<b>Vacant</b>			<b>12/31/2021</b>
Whitney Beckham <a href="mailto:whit.beckham@gmail.com">whit.beckham@gmail.com</a>	427 Lupfer Avenue (p)	501-269-7612	12/31/2020
Allison Linville <a href="mailto:allisonlinville@gmail.com">allisonlinville@gmail.com</a>	30 Dakota Avenue	208-365-8007	12/31/2020
Toby Scott <a href="mailto:tobyscott2@gmail.com">tobyscott2@gmail.com</a>	PO Box 367 (m) 1478 Barkley Lane (p)	406-862-4708 (H)	12/31/2020
John Ellis <a href="mailto:dcdefend@mindspring.com">dcdefend@mindspring.com</a>	PO Box 520	862-3798	12/31/2022

## Michelle Howke

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**From:** Tara Zimmerman [REDACTED]  
**Sent:** Saturday, September 26, 2020 4:57 PM  
**To:** Michelle Howke  
**Subject:** Interest in the Lakeshore Protection Committee  
**Attachments:** Letter of Recommendation.docx; Suncrest BOD- Letter of recommendation.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear City Council Members:

My name is Tara Zimmerman and I am interested in having the opportunity to serve on the Lakeshore Protection Committee. I have been a proud resident of Whitefish since August 2019 after visiting here on vacation for several years and then deciding to make the permanent move from Florida. My husband and I are business owners in the city and reside in the Suncrest Subdivision. I have been serving on The Board of Adjustment with the city and am currently the President of the Suncrest Homeowners Association.

The Suncrest Homeowners are lucky enough to also have a vested interest in our beach area at Whitefish Lake. I believe it would be very beneficial to be a part of the Lakeshore Protection Committee to help preserve one of our city's crown jewels. I sincerely hope you consider me for this volunteer position.

Please see my letter of recommendation from the Suncrest Board Members and Past-President attached.

Thank you,  
Tara Zimmerman  
[REDACTED]

EXTERNAL SENDER verified by City of Whitefish IT

James F Gregory  
1336 Rosehill Drive N.W.,  
Calgary, Alberta

September 25, 2020

Whitefish Lake and Lakeshore Protection Committee

Re:Letter of recommendation

To whom it may concern:

My name is Jim Gregory and I have been a homeowner in Whitefish since 1988. I have served on the board of directors of the Suncrest Homeowner's Association for six years and as president for the past three years, stepping down this past August. It was a privilege to serve with homeowners who were dedicated to making Suncrest a neighbourhood to be proud of.

Tara Zimmerman joined our board of directors in 2019, and volunteered to serve as Vice President as well as on our Architectural Control Committee, and was a valued member of that committee. The committee approves building plans for our neighborhood to ensure quality and direction of development in Suncrest. She impressed me with her dedication and her contributions to our board.

Suncrest is in the enviable position to have purchased a property on the beach of Whitefish Lake many years ago. By many homeowner's estimation, it is the crown jewel of our neighbourhood. Our board of directors are very sensitive to maintaining the quality of our lakefront property.

I think that Tara Zimmerman would make a valuable member of the Lakeshore Protection Committee. She had experience before she came to our board and showed a balanced, common sense approach to any issues that came our way. I would strongly recommend Tara to be a member of your committee.

Sincerely,

Jim Gregory



Suncrest Homeowner's Association  
P.O. Box 244  
Whitefish, Montana 59937  
Phone (406)261-4001  
e-mail: [suncresthomeownersassoc@gmail.com](mailto:suncresthomeownersassoc@gmail.com)

September 23, 2020

Whitefish City's Lakeshore Protection Committee

Re: Tara Zimmerman Letter of Recommendation

TO WHOM IT MAY CONCERN:

We would like to provide a strong recommendation and support for Tara Zimmerman to be considered for the Whitefish City Lakeshore Protection Committee. Tara has served on our Board since August 3, 2019. She served as Vice President her first year and this, August became the President of the Suncrest Board of Directors. During her time on the board Tara also has participated as a member of our Architectural Committee.

We believe Tara is a great fit and are excited that she has expanded her interest to be involved with the Whitefish City Lakeshore Protection Committee. She is very committed to continue making Suncrest a great place to live, understands the value of our beach, and the significance of protecting the lake. Tara understands the value of volunteering her time to protect the elements that make up our beautiful community.

It is evident that Whitefish Lake, is very important to Tara and her husband, Doug. We feel Tara is an asset to our Board of Directors and the Whitefish City Lakeshore Protection Committee would benefit to have her.

Sincerely,

Linda M. Smith, Administrative Secretary for the  
Suncrest Board of Director's Members Include:

Turner Askew, Vice President, John Gibson, Treasurer, Suzanne Long, Kyle Archer  
and Nina Hellar

# Chapter 16

## WHITEFISH LAKE AND LAKESHORE PROTECTION COMMITTEE

### 2-16-1: STANDING COMMITTEE ESTABLISHED:

Pursuant to and under the provisions of Montana Code Annotated sections 75-7-201 et seq., the city council of the city of Whitefish does create and establish the Whitefish Lake and lakeshore protection committee as a standing committee of the city, consistent with state law. (Ord. 15-10, 6-1-2015)

### 2-16-2: PURPOSE, POWERS AND DUTIES:

By this chapter, the city council of the city of Whitefish grants and delegates to the Whitefish Lake and lakeshore protection committee all of the rights, privileges, powers, duties, and responsibilities thereto appertaining. The Whitefish Lake and lakeshore protection committee shall have such jurisdiction as provided by state law. (Ord. 15-10, 6-1-2015)

### 2-16-3: MEMBERSHIP:

The Whitefish Lake and lakeshore protection committee shall consist of seven (7) members, to be appointed as follows:

- A. The Whitefish city council shall appoint a total of six (6) members, two (2) members shall reside within the corporate limits of the city of Whitefish, two (2) shall be lakefront property owners and residents within the corporate limits of the city of Whitefish, and two (2) members shall reside outside the corporate limits of the city of Whitefish and shall be lakefront property owners.
- B. The seventh member shall be appointed by the Whitefish planning board, reside within the corporate limits of the city of Whitefish, and be a member of the planning board. He/she shall serve for a two (2) year term unless he/she requests removal or is removed by a majority vote of the planning board.

Committee members shall receive no compensation. (Ord. 15-10, 6-1-2015)

### 2-16-4: TERMS; POSITIONS:

Committee terms shall be two (2) years. There are hereby created positions numbered 1 through 7 inclusive of the members of the Whitefish Lake and lakeshore protection committee. Members serving on the effective date of this chapter shall be assigned to positions that correspond with the following expiration dates:



Position Number	Term Expiration Date
1	December 31, 2017
2	December 31, 2017
3	December 31, 2017
4	December 31, 2017
5	December 31, 2018
6	December 31, 2018
7	December 31, 2018

As each of the above listed expiration dates has passed, a member appointed to the position shall serve for a two (2) year term. Terms shall begin on January 1 following the initial expiration of the preceding term. At the discretion of the city council, members may be appointed for more than one term. (Ord. 15-10, 6-1-2015)

### **2-16-5: REMOVAL OF MEMBER:**

A member of the Whitefish Lake and lakeshore protection committee may be removed from the committee by majority vote of the city council for cause upon written charges and after a public hearing. Wilful disregard of state statutes, city ordinances and the rules of procedure of the committee, or absences from three (3) consecutive meetings, including regular and special work sessions, or absences from more than fifty percent (50%) of such meetings held during the calendar year shall constitute cause for removal. Circumstances of the absences shall be considered by the city council prior to removal. Any person who knows in advance of his or her inability to attend a specific meeting shall notify the chair or city staff member assigned to the Whitefish Lake and lakeshore protection committee at least twenty four (24) hours prior to any scheduled meeting. (Ord. 15-10, 6-1-2015)

### **2-16-6: VACANCY:**

Pursuant to sections [2-16-3](#) and [2-16-4](#) of this chapter, any vacancy on the Whitefish Lake and lakeshore protection committee shall be filled by the city council acting in a regular or special session for the unexpired term of the position wherein the vacancy exists. The city council may appoint members of the city council to temporarily fill vacant positions on the Whitefish Lake and lakeshore protection committee. (Ord. 15-10, 6-1-2015)

### **2-16-7: ORGANIZATION:**

The Whitefish Lake and lakeshore protection committee, at its first meeting after January 1 of each year, shall elect a chair and vice chair for the next twelve (12) month period. Upon the absence of the chair, the vice chair shall serve as chair pro tem. If a vacancy occurs in the chair or vice chair positions, the committee shall elect a member to fill the vacancy at the next meeting. (Ord. 15-10, 6-1-2015)

**2-16-8: MEETINGS; RULES AND REGULATIONS:**

Four (4) members of the Whitefish Lake and lakeshore protection committee constitute a quorum to conduct business. Not less than a quorum of the committee may transact any business or conduct any proceedings before the committee. The concurring vote of four (4) members of the committee shall be necessary to decide any question or matter before the committee, except a motion for a continuance and motions to elect a chair and vice chair may be decided by a simple majority vote of the committee. The committee shall adopt rules of procedure for the conduct of meetings consistent with statutes, the city charter, ordinances and resolutions. Meetings of the committee shall be held at the call of the chair and at such other times as the committee may determine. All meetings shall be open to the public. (Ord. 15-10, 6-1-2015)

**2-16-9: EXPENDITURE AUTHORIZED:**

The Whitefish Lake and lakeshore protection committee shall not have authority to make any expenditures on behalf of the city or disburse any funds provided by the city or to obligate the city for any funds except as has been included in the city budget and after the city council shall have authorized the expenditure by resolution, which resolution shall provide the administrative method by which funds shall be drawn and expended. (Ord. 15-10, 6-1-2015)

Volunteer Committee List

**WHITEFISH LAKE & LAKESHORE PROTECTION COMMITTEE - WCC 2-16 - 2 YEAR TERM**

(2nd Wednesday; Planning & Building Department Conference Room)

\*2 City who own or reside on lakefront property, 2 City at Large, 2 County who own or reside lakefront property, 1 other

*Ben Cavin	PO Box 965 <a href="mailto:bencavin@gmail.com">bencavin@gmail.com</a>	406-862-3733	12/31/2020
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Vacant			12/31/2020
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Donna Emerson	1030 Mountain Park Drive	471-2295	12/31/2021
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Nancy Schuber	110 Bay Point Drive <a href="mailto:nschuber@sbcglobal.net">nschuber@sbcglobal.net</a>	406-871-0788	12/31/2021
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Peggy Brammer	2702 Plaza Road <a href="mailto:pjbrammer@gmail.com">pjbrammer@gmail.com</a>	415-497-8645	12/31/2020
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Roger Rowles	2794 Rest Haven Dr./PO Box 1806	509-952-2574	12/31/2021
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Toby Scott	PO Box 367 <a href="mailto:tobyscott2@gmail.com">tobyscott2@gmail.com</a>	406-862-4708 (H)	12/31/2021
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# 2020

## Annual Affordable Workforce Housing Update June 30, 2020



*Trailview Subdivision*





*Riverview Meadows*



*Trailview*

# LEGACY HOMES PROGRAM

In the twelve months since the Whitefish Legacy Homes Program (LHP) went into effect, both city staff and developers have worked on its implementation. City staff established a separate Legacy Homes webpage under Planning & Building with all current information and applicable documents. Developers have been working on implementing these new requirements into their projects. It has been a slower year for new residential development, as a number of residential developments were approved prior to the effective date of the LHP. While those projects are being built out, staff expects to see an uptick in new residential development in the coming years. The demand is based on the rising cost of residential homes, diminished supply of available land and the volume of calls our office receives from members of the public looking for places to build.

The LHP is to provide housing for the Whitefish workforce making 60-120% of Area Median Income (AMI), as defined by the US Department of Housing and Urban Development (HUD) for Flathead County. The program identifies an AMI between 60-80% for rentals and 80-120% for ownership. The AMI numbers are updated annually by HUD.

## *Legacy Home Program Project*

In the first 12 months of the LHP, the City Council approved the following project:

- **Kyle Project:** 1515 Hwy 93 W, 52 Total Units, 10.4 Legacy Homes Required. The project was approved with a condition to pay a Fee in Lieu of providing units. This fee will be due at the time of building permit.

## *2021 Work Program*

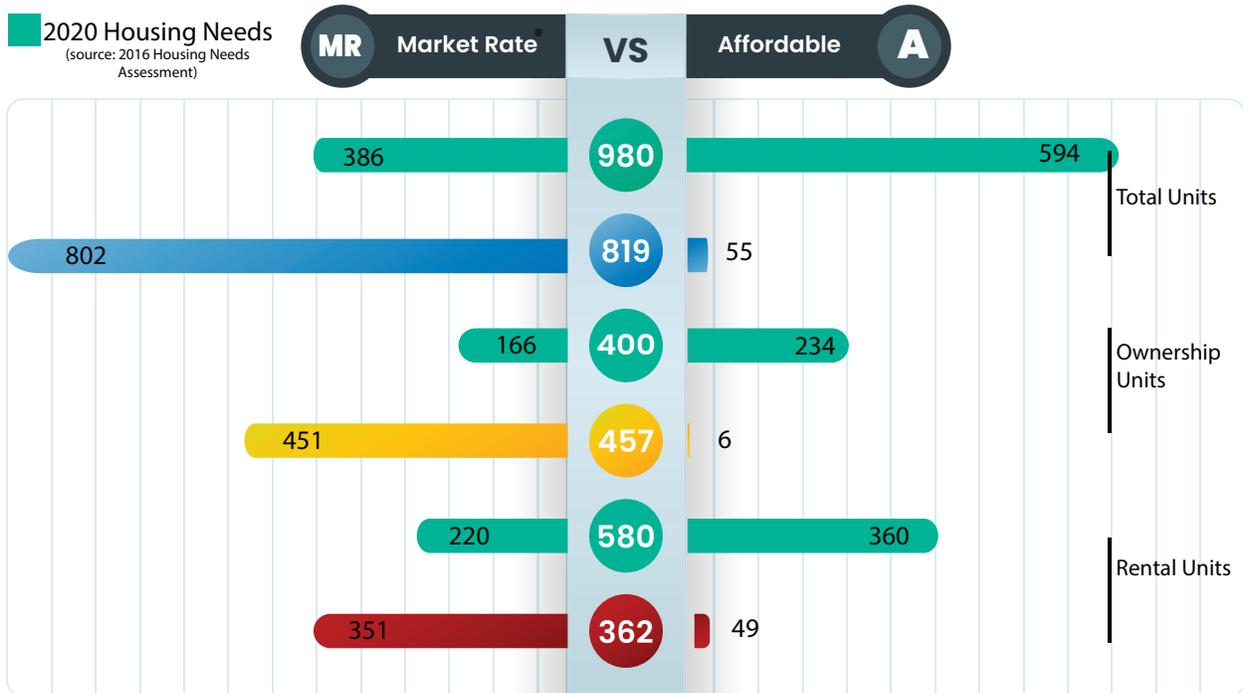
During Fiscal Year 2021, staff and the Steering Committee will continue to implement the Whitefish Strategic Housing Plan including:

- **Accessory Dwelling Units** - recommend policy changes for this to be viable affordable housing
- **Annexation Policy** - recommend policy changes to ensure future annexations reflect existing housing mix with 75-80% of homes for local residences
- **Housing Needs Assessment Update** with 2020 Census Information
- **Legacy Homes Program Updates**, as needed
- **Tier 2 Implementation** of the 2017 Strategic Housing Plan

- Total Built
- Ownership
- Rentals

# Housing Needs v Construction

Ownership and Rental  
2016 - June 2020



2020 Housing Needs  
(source: 2016 Housing Needs Assessment)

**MR** Market Rate **VS** Affordable **A**

•Some of the units in the market category may be affordable but are not deed restricted; therefore, subject to the market.

## Overall Construction and Population Trends

Since the 2016 Housing Needs Assessment (HNA), construction of residential units has continued at a rapid pace. During that timeframe, the City has added 457 single family residential units and 362 multi-family units. However, very few of these units are deed restricted and few could be considered affordable for the Whitefish workforce. Of the 457 single family ownership units, which includes townhouses, a mere six building permits for deed restricted single family homes were issued. Of the 362 multi-family rental units, a total of 49 units are income restricted either through a deed restriction (11 units) or through another program (38 LIHTC units at Alpenglow Apartments).

The 2016 HNA concluded the City would, by the end of 2020, need an additional 400 single family ownership units with 234 of these units priced affordably and 580 rentals with 360 of these priced affordably. As described in the HNA report, the 2020 housing needs were based on interviews with local businesses to address the current short-fall in housing and to keep up with future demand for a broad range of jobs with a variety of wages in our community.

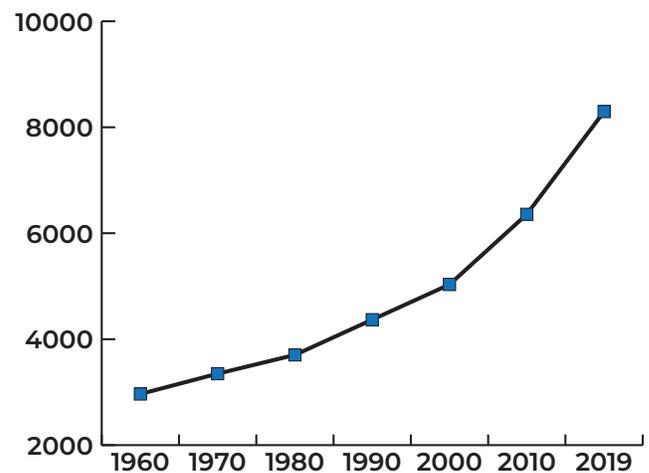
On the next page, all planned, approved, under construction and constructed affordable home

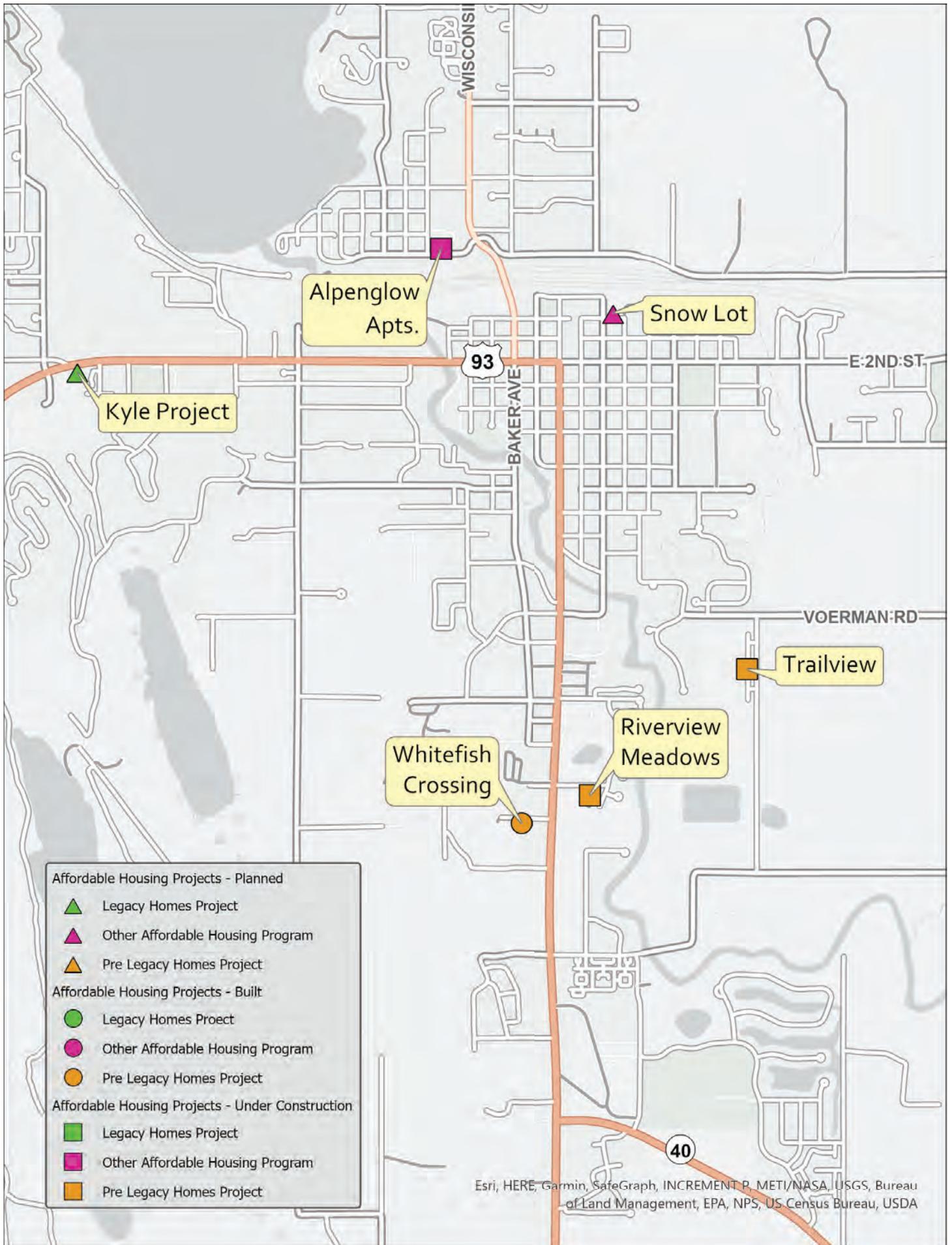
projects are identified. This includes projects before the adoption of the LHP but since the 2016 HNA.

### Population Trends

The most recent estimated population from the State of Montana Department of Commerce for Whitefish, July 1, 2019, is 8,295, which is a 3% annual increase since the 2010 Census. Data for the 2020 Census is still in progress. Generally, the Census helps to bring estimates into better alignment with actual full-time residents.

## Whitefish Population Growth





# OTHER AFFORDABLE HOUSING INITIATIVES

## Alpenglow Apartments

The Alpenglow Apartments are a Low Income Housing Tax Credit (LIHTC) project set to open Fall 2020. Homeward, the developer of the project, was awarded a Low Income Housing Tax Credit from the Montana Board of Housing in November 2018 for this project. The award of \$6.7 million will provide rental housing for Whitefish residents with an Area Median Income of 60% or less. Whitefish was one of nineteen applications and only five projects were awarded across the state of Montana. Securing a LIHTC project was a Tier One strategy from the 2017 Strategic Housing Plan.



*Alpenglow Apartments*

The Alpenglow Apartments have 38 rental units in three buildings along with a playground. There is an additional parcel to the northeast of the project for a future phase of up to 14 rental units.

Tamarack Property Management Company is the property manager for the project. They have launched a webpage for prospective renters: <https://alpenglow.tamarackpm.com/> Applications for perspective renters are under review with an anticipated move-in date of mid-to late November 2020.



## Snow Lot

The Snow Lot, located on the north side of Railway Street between Columbia and Somers Avenues, was identified as a Tier One project in the Strategic Housing Plan as a workforce rental and/or ownership project. Since that time, the City has initiated a number of steps in order to bring this project to fruition:

- Amended the 2015 Downtown Master Plan to Remove a Parking Designation.
- Rezoned the Property to WR-4 (High-Density Residential District).
- Amended the Tax Increment Financing District boundaries to include this lot.
- Hosted a Neighborhood Design Charrette over two-days with 40 neighbors participating to establish a neighborhood sensitive project. Out of the charrette process a mixture of 22 rentals and 12 townhouse ownership units was identified.
- Pivoted to 100% ownership project with a maximum of 24 townhouses, based on financial feasibility.

- Donated the land to the Whitefish Housing Authority (WHA) and entered into a development agreement between the City and WHA to develop up to 24 townhouse ownership units.

Currently, the WHA is in the process of developing a Request for Proposal to hire a construction cost estimator/manager in order to assist the WHA through the development process.



*2018 Neighborhood Design Charrette*

Planning & Building Department (406) 863-2410 Fax (406) 863-2409  
418 E 2<sup>nd</sup> Street  
PO Box 158  
Whitefish, MT 59937



Date: October 13, 2020  
To: Honorable Mayor and City Councilors  
From: Strategic Housing Steering Committee  
Subject: Legacy Home Program Updates

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As we worked through our first year of the Legacy Home Program a few items emerged for consideration for amendments. Below, please find issues identified with possible solutions. When we bring these possible changes back to Council staff will also provide additional section numbering within the document for ease of reference.

- 1. Timing for Payment of Fee in Lieu.** A fee in lieu is an alternative method of complying with the Legacy Home Program subject to Council approval only if a developer can make a case that the project has high property taxes, high homeowners association dues, a predominance of short-term rentals, on-site development consisting of condominiums and location far from schools, transit or shopping. According to the Administrative Procedures (Legacy Homes Program Requirements, Section 4.b., page 6), the fee is due prior to the issuance of building permit or at the time of final plat; however, the applicant can request an alternative timing of payment subject to the approval of the City Council.

*ISSUE:* Clarify that when one intends to pay the fees at the time of building permit that they are due at the same time as all the other impact fees.

*SOLUTION:*

**Page 6, 4.b. 3rd Paragraph**

The ILF is due ~~upon approval of the development request and~~ prior to the issuance of a building permit along with other impact fees or at the time of final plat. An applicant may propose an alternative to this timing requirement, subject to the Council's approval.

*FUTURE WORK ITEM:* The Committee would like to continue research other possible options including the possible use of Letters of Credit or other forms of financial guarantee.

2. **Deviation to the Minimum Square Footage.** The Administrative Procedures identify the minimum square footage and minimum average square footage for the various types of units from rentals to ownership depending on bedroom count. Below are the square footage requirements:

<b>Rental</b>	<b>Minimum SF</b>	<b>Minimum Average SF</b>
Studio	350	450
1 Bedroom	550	650
2 Bedrooms	725	825
3 Bedrooms	900	1000
<b>Ownership</b>	<b>Minimum SF</b>	<b>Minimum Average SF</b>
Studio	400	500
1 Bedroom	700	1,000
2 Bedrooms	800	1,150
3 Bedrooms	1,100	1,300

While the LHP permits some zoning deviations (such as lot size, density, etc.), there are no provisions to change the minimum development standards found within the Administrative Procedures, such as unit square footage. Since these standards are adopted by Resolution, one cannot vary the design standards through a PUD. The reason for the minimum square footage was to ensure residents have sufficient livable space and the City does not end up with substandard housing for the Legacy Homes Program. This was an important detail our consultants insisted on and the WHA did not want to be put in the position of negotiating every project.

*ISSUE:* This issue has come up at the request of a developer who built some apartments recently and would like to replicate the building, but because it was designed and built before the Legacy Homes program, the minimum square footage for the 1-bedrooms is less than 550 square feet.

*SOLUTION:*

**Page 10, 5.a. Floor Size (rentals)**

Legacy Home rental units must be constructed according to the minimum and average requirements for square footage of habitable residential space shown in the table below. The size of each unit type may vary within a development, but no unit may be smaller than the minimum size, and the size of all units by type must meet the average size shown below. However, as an alternative to the standards set forth below, the developer has the option of offering Legacy units that are similar in total floor area to the market rate units in the same project. Should the developer choose this option, the justification for doing so must be addressed in the housing mitigation plan.

**Page 12, 4. 2nd paragraph (ownership)**

The mix of the number of bedrooms offered in Legacy units will mirror the mix of bedrooms offered in the market rate units, provided the mix is responsive to the needs and demographics of Whitefish residents as established in an up to date market study and the performance of previous housing developments. The City reserves the right to adjust the mix once some Legacy Homes have been built in the community and the performance of various bedroom mixes established. Three-bedroom units satisfy the Legacy Homes requirement for market units with four or more bedrooms. The sizes of the Legacy units may vary in a development, but no unit may be smaller than the minimum square footage (SF), and the size of all units must at a minimum average the SF, listed below. However, as an alternative to the standards set forth below, the developer has the option of offering Legacy units that are similar in total floor area to the market rate units in the same project. Should the developer choose this option, the justification for doing so must be addressed in the housing mitigation plan.

*FUTURE WORK ITEM:* The Committee would like to continue monitor the square footages in the Administrative Procedures to ensure they meet the needs of the community.

- 3. Level of Detail Required at Time of Land Use Application.** The Administrative Procedures require a considerable amount of construction details when one submits a land use application, such as a Conditional Use Permit, Planned Unit Development or Preliminary Plat. These items include: the exact square footage of units – both market rate and deed restricted units, the amenities provided within the development, the heating systems and estimated utility costs, the Homeowners Association structure and fees, if applicable, and the unit designs.

The purpose for many of these items is ensure the deed restricted units are similar to the market rate units, meet some minimum requirements for size, are efficiently built so utility costs are not extreme, the HOA dues are not excessive to maintain affordability, and all units have equal access to all amenities.

*ISSUE:* The level of detail at the time of land use permits is more than an applicant typically has at this early stage. Many applicants have a pretty good idea of the size of units – especially projects with multi-family units and, for rentals, they may know whether or not utilities will be included. However, specific information on the exact HOA dues or the utility costs or the HVAC equipment are generally not available until they are designing the structures which is well after the land use projects are approved.

*SOLUTION:* Require these details prior to recording the deed restrictions which is later in the process. This will give the WHA and the City the opportunity to review and adjust purchase or rental rates, as needed.

### **Page 2, bullets list**

A Housing Mitigation Plan must include all the following, as applicable:

- Total number of market rate and Legacy units
- Square footage of total development and each unit
- Details regarding how the requirements of the Legacy Homes Program will be met, including unit types, sizes, number of bedrooms, amenities, heating systems and estimated utility costs, target income category, initial sales prices or rental prices, homeowner's association (HOA) structure and fees, if applicable
- Site plan, unit designs, and amenities
- Incentives utilized by the project
- Average lot size and square footage of market rate and Legacy units
- Location of Legacy units within the project by type and size; justification for clustering of Legacy units, if proposed
- ~~Exemption within a development's Covenants, Conditions and Restrictions (CC&Rs) for Legacy Homes providing an exemption from the minimum square footage~~
- Proposed production schedule of market rate and Legacy units, including issuance of building permits
- If applicable, any proposed alternative methods of compliance with these Policies and Procedures, demonstrating how the alternative meets or exceeds the Legacy Homes Program requirements and helps the City achieve its housing goals as established in the Strategic Housing Plan
- ~~Standardized deed restriction provided by the City~~
- Any other information deemed relevant by the Legacy Homes Coordinator

### **Page 10, #3, Recording of Deed Restrictions (Rental)**

Prior to recording the deed restriction using the standardized deed restriction provided by the City, the following details must be provided:

- Details regarding how the requirements of the Legacy Homes Program will be met, including unit types, sizes, number of bedrooms, amenities, heating systems and estimated utility costs, target income category, initial sales prices or rental prices, homeowner's association (HOA) structure and fees, if applicable

The developer will cause to be recorded at Flathead County Clerk and Recorder, a deed restriction that fulfills the requirements of this section

regarding controls placed on the occupancy and rental of the LHP unit. The effect of recording said deed restriction is to create, in accordance with state law, an obligation that runs with the property. The Legacy Homes Coordinator/City Attorney will provide a template deed restriction to be used.

**Page 14, #7, Deed Restrictions for Ownership Housing (Ownership)**

Prior to recording the deed restriction using the standardized deed restriction provided by the City, the following details must be provided:

- Details regarding how the requirements of the Legacy Homes Program will be met, including unit types, sizes, number of bedrooms, amenities, heating systems and estimated utility costs, target income category, initial sales prices or rental prices, homeowner's association (HOA) structure and fees, if applicable
- Exemption within a development's Covenants, Conditions and Restrictions (CC&Rs) for Legacy Homes providing an exemption from the minimum square footage

All deed restrictions applicable to Legacy ownership homes must include resale restrictions binding future buyers and sellers to the applicable conditions set forth in this Program Administration as updated annually and will be in a form approved by the Legacy Homes Coordinator and the Whitefish City Attorney.

The Legacy Homes will be deed restricted for a term of 90 years subject to renewal of the 90-year term anytime the property changes ownership.

- 4. Adding Multi-Family Unit to an Existing Multi-Family Structure.** As part of the LHP, the different zoning districts identify a minimum number of units when the LHP would apply. However, the standards are silent if a project proposes an addition to the existing multi-family projects. We often field questions about buildings in the downtown wanting to convert commercial space to residential units or additions to existing apartment buildings. Of course, these projects need to meet all the zoning regulations (parking, setbacks, height, etc.), but clarity for the LHP would also be helpful.

*ISSUE:* Projects constructed before or since the LHP, how do we calculate the amount of affordable housing requirement?

*FUTURE WORK ITEM:* The Steering Committee wanted to more fully discuss this issue, do some research and further visit with the City Attorney about options. The Committee is not prepared to offer a solution to this issue.

- 5. Priority to City Limits, 59937 and then Others for Ownership.** The Administrative Procedures under *eligible renters* (page 9), the priority for units is first those living in city limits, then those living in the 59937-zip code and finally everyone else. However, this same language is not under the

**eligible ownership** section (page 11). We believe this was simply an oversight and they should be the same. It should be noted this language is already in the WHA Legacy Home Implementation Plan. The distinction in this Plan is the priorities only kick in if there are multiple people interested in a single home.

*ISSUE:* The priority for housing has always been to first house the workforce in city limits then those living in the 59937-zip code. Finally, if no one was available in those first two group then housing would open up those outside the city and 59937-zip code. The Committee recognized an empty home is not serving anyone and even if someone had a job outside the city, they still would be a member of our community and may even be able to find a job in the city someday.

*SOLUTION:* Add the same rental language to ownership eligibility.

**Page 10, Subsection 1.:**

Following are general eligibility criteria for purchasers of Ownership Housing, although further program eligibility criteria may be established or modified by WHA. Ownership Legacy Homes created through the Legacy Homes Program will be sold to and occupied by an eligible owner-occupant household. An eligible owner-occupant household will be certified by the WHA no more than 90 days prior to a purchase contract being executed for a Legacy Home. Such certification is valid for 12 months following the execution of the purchase contract. If the 12 months elapses before closing of the unit for which the Legacy Home buyer is under contract, the household's eligibility will be re-certified and valid for an additional 90-day period. Priority will be given to households with at least one household member who is employed in the City of Whitefish, then to those with members employed within the 59937-zip code area, and finally to those with employment outside the 59937-zip code area. Further program eligibility criteria may be established or modified by WHA.

- 6. Prices and Fees In Lieu for Phased Projects.** Annually, the home prices, rental prices and the fee in lieu will be adjusted to keep pace with changing incomes and the housing market.

*ISSUE:* How are these changing home prices, rental prices and fee in lieu rates applied for projects that may take several years to build out or a phased project? For subdivision, projects have a three-year approval and a phased project, this could be even further out.

*SOLUTION:* The rates and fees should be applied/calculated at the time of deed restriction recording – this would be before a building permit and/or a final plat. The advantage of this approach would be the home/rentals and/or fee in lieu would reflect the current market at the time of construction.

**Page 4, Subsection 2., 3rd Paragraph**

The ILFs are not and will not be used as an alternate means of compliance, except as outlined below in *Alternatives That May Be Considered*. The fees are calculated and must be paid prior to issuance of a building permit or recording of a final subdivision plat. The proceeds of the fee will be credited to the Whitefish Housing Authority (WHA) Affordable Housing Fund approved by the City Council.

**Page 6, Subsection 4.b., 3rd paragraph**

The ILF is calculated and ~~due upon approval of the development request and~~ prior to the issuance of a building permit or at the time of final plat. An applicant may propose an alternative to this timing requirement, subject to the Council's approval.

The rental rates and ownership prices will also be determined at the time of deed restriction. Staff will match this language in the appropriate place within the Administrative Guidelines and will include language for projects with phases.

- 7. Reduce the Threshold for Legacy Homes Program in the WR-4 Zoning District.** Currently in the WR-4 (High Density Multi-Family Residential) zoning district, an Administrative Conditional Use Permit (ACUP) is required for a project between eight (8) to eighteen (18) units. Projects less than eight (8) units are a 'use by right',

*ISSUE:* The Committee is interested in reducing this threshold to four (4) units which matches the threshold in the WR-3 zoning district. Committee members feel more projects ought to be a part of the LHP.

*SOLUTION:*

**11-2I-3, Conditional Uses**

- Multi-family dwellings, ~~eight (8)~~ four (4) to eighteen (18) dwelling units - administrative conditional use permit (subsection 11-7-8M of this title) (see special provisions in section 11-3-42 or 11-3-43 of this title).

# Whitefish Legacy Homes Program Administration

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## Whitefish Legacy Homes: Program Administration

The purpose of this program administration document is to 1) provide the technical procedures to deliver the affordable housing required by the Whitefish Legacy Homes Program and 2) establish procedures for the City of Whitefish, staff, boards, or committees, the Legacy Homes Coordinator, and any agent of the City (Whitefish Housing Authority) to implement and administer the requirements of the Whitefish Legacy Homes Program. Appendix A contains all relevant tables, which may be updated on an annual basis.

### HOUSING MITIGATION PLAN: SUBMITTAL REQUIREMENTS

Housing Mitigation Plans are required by the City for all residential developments described in §11-1A, Whitefish Legacy Homes Program regulations. Housing Mitigation Plans will be prepared and submitted by the developer concurrent with the application request for the development permit (subdivision, conditional use permit [CUP] or planned unit development [PUD]). Once projects are approved by City Council, the details described in the Housing Mitigation Plan become conditions of the development permit approval. Housing Mitigation Plans for projects approved by staff using an administrative CUP process will also become a condition of the permit.

A Housing Mitigation Plan must include all the following, as applicable:

- Total number of market rate and Legacy units
- Square footage of total development and each unit
- Details regarding how the requirements of the Legacy Homes Program will be met, including unit types, sizes, number of bedrooms, amenities, heating systems and estimated utility costs, target income category, initial sales prices or rental prices, homeowner's association (HOA) structure and fees, if applicable
- Site plan, unit designs, and amenities
- Incentives utilized by the project
- Average lot size and square footage of market rate and Legacy units
- Location of Legacy units within the project by type and size; justification for clustering of Legacy units, if proposed
- Exemption within a development's Covenants, Conditions and Restrictions (CC&Rs) for Legacy Homes providing an exemption from the minimum square footage
- Proposed production schedule of market rate and Legacy units, including issuance of building permits
- If applicable, any proposed alternative methods of compliance with these Policies and Procedures, demonstrating how the alternative meets or exceeds the Legacy Homes Program requirements and helps the City achieve its housing goals as established in the Strategic Housing Plan
- Standardized deed restriction provided by the City
- Any other information deemed relevant by the Legacy Homes Coordinator

A Housing Mitigation Plan template is available for use or applicants may generate their own document provided all the required information is included.

#### REVIEW PROCESS:

##### *1. Pre-Submission Conference*

Prior to submitting any development request to which the Legacy Homes Program applies or Site Review Meeting, the applicant must schedule a pre-submission conference with Planning and Building Department staff and the Legacy Homes Coordinator. At this meeting, applicants must provide the number and type of units proposed and how they intend to comply with the Legacy Homes Program. The City and the Legacy Homes Coordinator will describe the requirements of the program, the needs of the City and go over the Housing Mitigation Plan template.

##### *2. Review of Housing Mitigation Plan*

After submittal of a land use permit, the Housing Mitigation Plan will be reviewed by staff of the Planning and Building Department, in coordination with the Legacy Homes Coordinator. Following review, staff will either a) accept the Housing Mitigation Plan if it meets the Legacy Homes Program requirements and make a recommendation to City Council for approval of the Plan, b) approve the Housing Mitigation Plan for administrative land use permits, or c) not accept the Housing Mitigation Plan if it does not meet the Legacy Homes Program requirements and refer it back to the applicant with written comments regarding the Plan's deficiencies. If the identified deficiencies are not adequately addressed by the applicant, Planning staff will only approve or recommend approval by Council with conditions added to address the deficiencies.

##### *3. Resubmittal of Housing Mitigation Plans*

If a Housing Mitigation Plan has been disapproved, an applicant may resubmit a development permit application with a revised Plan addressing and correcting the deficiencies identified by staff.

##### *4. Revisions to Housing Mitigation Plans After Approval*

If the applicant wishes to modify or amend an approved Housing Mitigation Plan due to changes in the development proposal as it proceeds through the development review process or for other reasons, the developer must submit a new or amended Housing Mitigation Plan for approval by City Council. A substantive change requiring Council approval may include but is not limited to reduction in the size of the affordable units, change in the timing or phasing of construction or a change in the method of complying with the requirements of the regulations. If the changes are minor and not substantive, Planning staff may approve the modification administratively. Minor changes include modifications to the specific location of Legacy units within a development. For projects using the administrative CUP process, the amended Housing Mitigation Plan will be approved by Planning staff in consultation with the Legacy Homes Coordinator.

*5. Noncompliance with Conditions of Housing Mitigation Plan*

Failure to comply with the approved Housing Mitigation Plan is a failure to comply with the conditions of the development approval and may result in the revocation of the development approval.

**LEGACY HOMES PROGRAM REQUIREMENTS**

*1. Number of Legacy Homes in a Development*

If a developer proposes to subdivide residential lots or construct residential housing, twenty percent (20%) of the gross number of residential lots or housing units in a development must be Legacy Homes. Exemptions are listed in the Regulations (§11-1A2E). The applicant for a development permit is required to produce the Legacy Homes on-site. The type of units to be constructed must be proposed in the Housing Mitigation Plan and will become a condition of approval. In developments where both Legacy and market rate residential units will be constructed, the balance of ownership versus rental units, the type of units (single family attached, detached, or multi-family), and the number of bedrooms offered per unit will be proportional between the Legacy and market rate units.

**NUMBER OF UNITS EXAMPLE:**  
A proposal to build eight single-family attached townhomes would require  $8 \times 0.2 = 1.6$  Legacy townhomes for ownership. A proposal to build five single-family attached townhomes and eight rental units would be required to provide one Legacy ownership townhome and 1.6 Legacy rental units.

*2. Providing Fractions of Ownership or Rental Units*

When the calculation to determine the number of units required by Legacy Homes Program, as described above, results in a fraction of a home, an in-lieu-fee (ILF) may be paid for the fraction. To calculate the fee, multiply the number of proposed units by 20% and the resulting number is the number of fractional units required. The resulting number is multiplied by the associated ILF rate. The ILF calculator used to determine the fee is found in Appendix A.

If the calculation results in a whole number and a fraction (or just a fraction), the whole number resulting from the formula is the number of Legacy units required to be constructed and the remaining fraction may be satisfied with the ILF. The fee will be the associated rate from Appendix A multiplied by the remaining fraction.

The ILFs are not and will not be used as an alternate means of compliance, except as outlined below in *Alternatives That May Be Considered*. The fees must be paid prior to issuance of a building permit or recording of a final subdivision plat. The proceeds of the fee will be credited to the Whitefish Housing Authority (WHA) Affordable Housing Fund approved by the City Council.

**FRACTIONAL EXAMPLE:**  
The 0.6 in the previous example would be eligible for an in-lieu fee. A project with  $4 \text{ units} \times 20\% = 0.8$  units. This project would be eligible to pay the in-lieu fee at 0.8 of the full rate.

### *3. Timing of Compliance*

#### *RENTAL UNITS*

A proportion of the required number of Legacy Home rental units in a single project must be leased as each building or phase of the project is offered for rent. A phase is defined as a group of units which is completed and ready for occupancy within a period of one year. This requirement will be reflected in each Housing Mitigation Plan providing for on-site rental housing. In developments where Council has approved an ILF as an alternative means of compliance, the ILF is due upon approval of the development request and prior to the issuance of a building permit.

#### *OWNERSHIP*

For ownership units, the Legacy Homes must be made available for sale at the same time and in proportion to the market rate homes in the project which are made available for sale. This requirement will be reflected in the Housing Mitigation Plan providing ownership units. In developments where Council has approved an ILF as an alternative means of compliance, the ILF is due upon approval of the development request and prior to final plat.

### *4. Alternatives that May Be Considered*

The expectation is that 20% of the housing units produced in a development will be Legacy Homes and the Legacy Homes will be constructed on site and interspersed with the market rate residential units. Even if the intention is to subdivide only and sell individual vacant lots, the developer is expected to provide Legacy Homes on site. The developer of a subdivision with no market rate homes is required to provide a financial guarantee for each Legacy unit required that will be released upon issuance of the certificate of occupancy for each unit. Alternatives may be considered as described below.

Additionally, there may be situations when the Legacy Home units are either not compatible with other uses on the proposed development site or the development site is not appropriate for Legacy Homes due to distance from services or characteristics of the property that would make Legacy housing impractical. In these situations, the City may consider alternative means of compliance with the Legacy Homes Program. However, any alternatives are approved at the discretion of the City Council and are not guaranteed. High levels of property tax, high homeowner's association dues, a predominance of short-term rental use, or a location far from schools, transit, or shopping are potential characteristics that would support a developer's proposal for alternative means of compliance with Legacy Homes Program requirements. Alternatives that may be considered are described below, however, this is not an all-inclusive list and the developer also may, at his or her own risk, propose an alternative means of compliance with the Legacy Homes Program not listed below. A combination of alternatives may be considered.

*a. Off-Site Housing*

In situations where the provision of the Legacy Homes off-site is preferable to providing units on-site, an off-site location may be considered at the discretion of the City Council if the developer can demonstrate how the alternative option meets the City's housing goals established in the Strategic Housing Plan better than the on-site requirement. A developer may also propose to partner with another developer who already has an approved land use permit and could construct additional Legacy units as part of that project. When Legacy units are provided off-site from market rate units, unit size, quality, design, and construction shall be determined by the Housing Mitigation Plan approved by the City as part of the development permit approval process. The ratio of Legacy units required relative to market rate units in a project remains 20:80 when the off-site option is used.

**OFF-SITE HOUSING EXAMPLE:**

A development proposing 10 housing units is required 2 Legacy Units (20:80 ratio achieved). If the developer is to build 10 on-site market rate units and 2 off-site Legacy Units (12 total), the developer will need to pay an ILF for 0.4 Legacy Units as 12 units built requires 2.4 Legacy Units (20:80 ratio achieved).

*b. In Lieu Fees*

For other than fractional units, fees in lieu of providing Legacy units may be considered at the discretion of the City Council when the proposed development location and building off-site are both inappropriate for Legacy Homes. Fees for units are assessed at 1.5 times the Legacy Homes Program rate (the fee would be in lieu of providing 30% Legacy units rather than 20%). For example, in a 10-unit subdivision the developer would pay a fee equivalent to three units in lieu of providing two Legacy units.

Fees are calculated using the ILF calculator provided in Appendix A and are based upon publication of the Area Median Income (AMI) for Flathead County by the U.S. Department of Housing and Urban Development (HUD). An administrative charge of 10% is included to cover the costs associated with the furtherance of affordable housing initiatives.

The ILF is due upon approval of the development request and prior to the issuance of a building permit or at the time of final plat. An applicant may propose an alternative to this timing requirement, subject to the Council's approval.

*c. Land in Lieu*

A developer who is subdividing property and selling parcels but is not a builder of residential homes or apartments may propose to provide land in lieu of the required Legacy Homes. The appraised value of the property to be dedicated must be of equal or greater value than the ILF that would otherwise be required. Additionally, the property to be dedicated must help further the goals of the Legacy Homes Program and provide a greater overall public benefit than if the required Legacy Homes were constructed within the development. It is the responsibility of the developer to propose a means of compliance with the Legacy Homes Program that City Council will consider and approve at its discretion. Considerations may include but are not limited to

whether the parcel is served by existing infrastructure, adjacent land uses, and proximity to services.

*d. Clustering*

There may be special circumstances when clustering the Legacy units on the development site will be considered if clustering will enhance a sense of neighborhood, the market units are used as short-term rentals, the housing provided would be close to trails, bus stops, or places of employment, or the clustered Legacy Homes will otherwise exceed the requirements of the Legacy Homes Program. If Legacy units are not compatible with the proposed future development site, it is the responsibility of the developer or property owner to propose alternatives acceptable to the City.

*5. Incentives for Developers Meeting and Exceeding the Legacy Requirements*

As a partial offset to the cost of providing Legacy housing as part of a market-rate development requiring a CUP, the Legacy Homes Program provides incentives that effectively reduce certain development standards by-right (below).

A developer providing required Legacy units, an ILF, or other approved alternative method of compliance receives the following incentives:

- Reduce Parking Requirements for 2+ Bedroom Units by 20%
- Increase Maximum Building Height by 5 feet limited to a maximum of three (3) floors<sup>1</sup>
- Increase Maximum Lot Coverage by 10%
- Increase Density by 20%

**EXAMPLE:**

In the WR-3 (low density multi-family residential) zoning district, the incentives would provide the following benefits for a one-acre site with an 8-plex and a 6-plex proposed (seven 2-bedroom, four 1-bedroom, and three studio):

	<b>District Development Standard</b>	<b>Reduced Standard</b>
<b>Required # parking spaces</b>	26	23
<b>Max building height</b>	35 feet	40 feet with a maximum of three (3) floors
<b>Max lot coverage</b>	40% = 0.4 acres = 17,424 sf	44% = 0.44 acres = 19,166 sf
<b>Max density</b>	14 units/gross acre	16.8 units/gross acre (two more units could be added)

<sup>1</sup> Projects in the WB-3 Zoning District are not eligible for this incentive.

A land developer subdividing and providing Legacy units, an ILF, or other approved alternative method of compliance will receive the following incentives:

- Reduce Lot Size by 20%
- Increase Density by 20%
- Reduce Lot Width by 10%
- Increase Lot Coverage by 10%

**EXAMPLE:**

In the WR-1 (one-family residential) zoning district these incentives would provide the following benefits for a two-acre site with an eight-lot subdivision proposed:

	<b>District Development Standard</b>	<b>Reduced Standard</b>
<b>Minimum lot size</b>	10,000 sf	8,000 sf
<b>Max density</b>	4 units/gross acre = 8 lots	4.8 units/gross acre = 9 lots
<b>Minimum lot width</b>	60 feet	54 feet
<b>Max lot coverage</b>	35% = 3500 sf/10,000 sf lot	38.5% = 3080 sf/8,000 sf lot or 3850 sf/10,000 sf lot

The number of units used to determine density cannot be rounded up. If the subdivision application was for four lots per acre, the extra density allowed would be 4.8 units/gross acre, but an additional lot would not be permitted because it would increase density by greater than 20% to 5 units/acre.

A developer using the PUD process may use by-right either set of incentives based on the project needs but may not use both. Should the developer need or want reductions in these standards beyond what is offered by-right, or in other development standards, the request needs to be made through the PUD process and therefore require City Council approval. The density bonus provided for in the PUD chapter (§11-2S-3) may be used if the project meets the community benefit criteria (§11-2S-6). Note the provision of affordable housing in a project with a PUD required by the Legacy Homes Program is not considered a community benefit for the purposes of meeting the criteria.

## TYPES OF HOUSING:

### *Rental Housing*

Legacy Home Program (LHP) rental units must be marketed, leased, and occupied according to these criteria:

#### *1. Eligible Renters*

WHA will screen rental applicants for income and residency eligibility and maintain a list of eligible renters for LHP units. In general, households earning incomes of between 60% and 80% AMI will be eligible to rent Legacy Homes; however, the range of incomes allowed for eligible households will be somewhat broader to ensure there are enough renters for the Legacy Homes produced. The range of eligible household incomes will be established by the WHA but will be capped at 100% AMI. Priority will be given to households with at least one household member who is employed in the City of Whitefish, then to those with members employed within the 59937-zip code area, and finally to those with employment outside the 59937-zip code area. Further program eligibility criteria may be established or modified by WHA.

#### *2. Rental Rates*

The monthly rent of an LHP unit being rented pursuant to a Housing Mitigation Plan is provided in the calculator available in Appendix A under the rental price distribution table. There must be no side agreement obligating the Legacy tenant to pay the property owner for any add-on features or services. Security deposits may not exceed the sum of two months' rent at the Legacy Home rental rate for a unit and in no case can the security deposit be a larger percentage of rent than what is required for market rate units.

Legacy Home rental rates are based on AMIs for Flathead County as established by HUD using Montana Board of Housing (MBOH) methodology. Rental housing is affordable when housing expenses (including rent and utilities) are no more than 30% of a household's income. Since AMI varies by household size, the following assumptions about the number of people in a household are made for LHP rental units with different numbers of bedrooms:

<b># Bedrooms</b>	<b># People in Household</b>
0	1
1	1.5
2	3
3	4.5

The price provided in the table below assumes the landlord pays all utilities. If heat, electric, or water utilities are not included in the rental price, the monthly rate will be reduced accordingly (Appendix A for calculator). Prices will be updated annually following HUD's updates to AMI for Flathead County.

<b>Legacy Rental Unit Price Distribution for 2020</b>				
<b>AMI</b>	<b>OBR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>
<b>60%</b>	\$776	\$831	\$998	\$1,152
<b>70%</b>	\$905	\$970	\$1,164	\$1,344
<b>80%</b>	\$1,034	\$1,108	\$1,330	\$1,536

*3. Recording of Deed Restrictions*

The developer will cause to be recorded at Flathead County Clerk and Recorder, a deed restriction that fulfills the requirements of this section regarding controls placed on the occupancy and rental of the LHP unit. The effect of recording said deed restriction is to create, in accordance with state law, an obligation that runs with the property. The Legacy Homes Coordinator/City Attorney will provide a template deed restriction to be used.

*4. Adjustment of LHP Rental Rates*

The Legacy Homes Coordinator will review and adjust the rent in each income range and for each unit size based on annual updates to AMI and using the MBOH methodology. The Legacy Homes Coordinator will publish the new rents immediately upon adoption of a Resolution approved by the City Council.

*5. Minimum Requirements for Legacy Home Rental Units*

LHP rental units will be built to conform to local, state and federal laws according to the following guidelines concerning design, equipment, and physical features.

*a. Floor size*

Legacy Home rental units must be constructed according to the minimum and average requirements for square footage of habitable residential space shown in the table below. The size of each unit type may vary within a development, but no unit may be smaller than the minimum size, and the size of all units by type must meet the average size shown below.

<b>Unit Type</b>	<b>Minimum Square Feet</b>	<b>Average Square Feet of all units/type in development</b>
0 Bedroom (Studio)	350	450
1 Bedroom	550	650
2 Bedroom	725	825
3 Bedroom	900	1000

Minimum floor areas of habitable residential space include partitions, closets, heated utility rooms, halls and stairways but exclude attics, porches, unfinished basements, garages and unheated storage space.

*b. Equipment and hookups*

Each LHP rental unit must include a new ENERGY STAR® kitchen range and refrigerator; hookups for a clothes washer, dryer, or laundry on site.

c. *Design and location*

The proposed design and location of the Legacy Home rental units within the development will be reviewed by Planning staff, in consultation with the Legacy Homes Coordinator, and approved by City Council or Planning staff in order to achieve spatial integration, dispersion throughout and compatible exterior architectural and landscaping appearance with the market units in the development.

6. *Mix of Unit Types*

The mix of LHP rental units must match the mix of market rate rental units but may be modified annually by the City to meet the needs identified in the Workforce Housing Needs Assessment, Strategic Housing Plan, or any housing needs identified subsequent to adoption of those documents.

7. *Marketing to and Certifying Tenants for Legacy Rental Units*

The WHA will certify tenants who are income eligible to rent LHP units and will maintain a list of eligible tenants. Marketing of the LHP units is the responsibility of the developer or property manager. The WHA may assist with marketing but will not be responsible for a unit being vacant because of insufficient marketing or any other reason. Reviews, background checks, decision to rent or not rent, execution of rental leases, and the day to day management of the rental units will be the responsibility of the developer/property manager or their designee or successor.

The WHA will establish and maintain an equitable process for allocating rights to lease the rental units, including waiting lists when demand exceeds supply.

8. *Certification of income after occupancy*

The income of tenants will be recertified by the WHA upon lease renewal, or no more often than once per year. Based on its findings, the WHA will determine whether the lease will be renewed.

9. *Terms of compliance*

Rental housing developments subject to the Legacy Homes Program requirements must maintain required occupancy rules and rental rates in LHP units for a period of 90 years after the date of issuance of a certificate of occupancy for the entire development or portions thereof. Subsequent 90-year deed restrictions must be renewed any time the property changes hands. This requirement is applicable to successors in title by means of a deed restriction. A City-approved deed restriction template must be used.

*Ownership Housing*

This section covers all requirements specific to Legacy Homes ownership.

1. *Eligible Buyers*

Following are general eligibility criteria for purchasers of Ownership Housing, although further program eligibility criteria may be established or modified by WHA. Ownership Legacy Homes created through the Legacy Homes Program will be sold to and occupied by an eligible owner-occupant household. An eligible owner-occupant household will be certified by the WHA no

more than 90 days prior to a purchase contract being executed for a Legacy Home. Such certification is valid for 12 months following the execution of the purchase contract. If the 12 months elapses before closing of the unit for which the Legacy Home buyer is under contract, the household's eligibility will be re-certified and valid for an additional 90-day period.

*2. Income*

Legacy Homes will be targeted for households earning 80.1% AMI to 120% AMI. However, the range of incomes allowed for eligible households will be somewhat broader to ensure there are enough buyers for the Legacy Homes produced. The range of eligible household incomes will be established by the WHA but will capped at 150% AMI. The AMI is updated annually by HUD and is provided in Appendix A for the current year.

*3. Liquid Assets*

Eligible purchasers must not have more than two times their annual income in liquid assets, excluding retirement funds, college savings funds, and funds in Health Savings Accounts.

*4. Characteristics of Legacy Ownership Units*

The type of housing unit (single-family detached or attached, duplex, triplex, townhome, etc.) and the number of bedrooms offered (not necessarily the square footage) must match the market units offered in a development. If the development provides a mix of unit types, the Legacy units must proportionately match the mix among market units acknowledging that rounding may be required (round down for 0.4 units or less, round up for 0.5 units or more). For example, a development of market rate townhomes must provide townhomes for the Legacy units. Exceptions may be allowed if all market units are single-family detached homes, in which case up to half of the required Legacy units may be attached single family homes (triplexes, townhomes). If the project is a subdivision only in which the developer plans to sell lots but not build market rate units, the Legacy unit types and numbers of bedrooms required will be based on the needs identified at time of the City's annual update to the program.

The mix of the number of bedrooms offered in Legacy units will mirror the mix of bedrooms offered in the market rate units, provided the mix is responsive to the needs and demographics of Whitefish residents as established in an up to date market study and the performance of previous housing developments. The City reserves the right to adjust the mix once some Legacy Homes have been built in the community and the performance of various bedroom mixes established. Three-bedroom units satisfy the Legacy Homes requirement for market units with four or more bedrooms. The sizes of the Legacy units may vary in a development, but no unit may be smaller than the minimum square footage (SF), and the size of all units must at a minimum average the SF, listed below.

# Bedrooms	Minimum SF	Minimum Average SF
Studio	400	500
1 Bedroom	700	1,000
2 Bedrooms	800	1,150
3 Bedrooms	1,100	1,300

When a Homeowner's Association's CC&Rs define a minimum square footage for homes in the development, an exemption for Legacy Homes and their smaller square footages must be made.

When phased construction is planned for a development, the proportion of Legacy units must be constructed in proportion to the market rate units constructed during each phase of development. In a 10-unit development in which five units will be constructed in each of two phases, one Legacy unit must be constructed in each phase. If the development will be constructed in one phase, a financial assurance or some other guarantee that the Legacy units be completed concurrently with market units is required.

Legacy Homes must meet the requirements of the City of Whitefish land development regulations and building codes. Legacy units must be architecturally compatible with surrounding development. Exterior finishes must be substantially compatible and consistent with the materials and finishes used on the market rate units. A minimum of 20 square feet of storage space must be provided.

Legacy units must meet mandatory minimum building codes for insulation and air sealing. Electric resistance or wood heat is not allowed except when all market rate units are using the same heating system. The design must address livability, maintenance, health, safety, climate, lifestyle, and the needs of the types of households the units are intended to serve. Balconies, decks and private yards similar to the market rate units are required to enhance livability of the Legacy units.

*5. Pricing of New Housing for Ownership*

The initial sales price of the Legacy ownership homes is the lesser of either 80% of the appraised market value of the home, or the price shown in the price distribution table below. The Legacy Homes must be priced in a spectrum consistent with unit size, location, and market demand, with the average price of Legacy Homes affordable to households earning 100% of AMI (\$219,503 for a 2-bedroom home). The following assumptions about the number of people in a household are made for Legacy ownership units with different numbers of bedrooms:

# Bedrooms	# People in Household
0	1
1	1.5
2	2.5
3	3.5

Variables that affect the initial target sales price of a Legacy ownership unit include the mortgage interest rate, the amount of the down payment, the term of the mortgage, and the portion of the monthly mortgage payment that goes towards principal and interest. These variables will be updated annually as needed. The distribution of target prices is shown in the table below and the calculator for determining the prices is provided in Appendix A.

<b>2020 Legacy Ownership Units Initial Sales Price Distribution (if lower than 80% of appraised value)</b>				
<b>AMI</b>	<b>OBR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>
<b>80%</b>	\$153,356	\$164,331	\$186,281	\$208,083
<b>90%</b>	\$172,525	\$184,872	\$209,566	\$234,094
<b>100%</b>	\$191,695	\$205,414	\$232,852	\$260,104
<b>110%</b>	\$210,864	\$225,955	\$256,137	\$286,114
<b>120%</b>	\$230,034	\$246,496	\$279,422	\$312,125

The maximum price for units restricted at 120% of AMI would be \$279,422 for a 2-bedroom home or \$312,125 for a 3-bedroom home. The actual sale price will include the following costs to the buyer as described on the settlement sheet for the sale:

- The sale price of the home
- Any sales commission which is payable by the buyer
- Any monthly fee such as a homeowner's association fee or common area fee
- Any other settlement cost charged to the buyer which in Whitefish is normally charged to the seller

*6. Adjustment of New Legacy Home Prices*

The Legacy home prices approved by Council by Resolution annually will remain in effect until the updated AMIs are published by HUD, after which time the prices may be adjusted as set forth in these administrative procedures unless otherwise amended by Council.

Beginning in 2020 and annually thereafter, the Legacy Homes Coordinator will review and adjust the Legacy Home price for each income range and for each unit size based on annual updates to AMI. The Legacy Homes Coordinator will publish new Legacy Home prices immediately upon adoption of a Resolution approved by the City Council.

Nothing herein prevents the City Council from amending the Legacy Homes Program ordinance without such recommendations from the Legacy Homes Coordinator.

*7. Deed Restrictions for Ownership Housing*

All deed restrictions applicable to Legacy ownership homes must include resale restrictions binding future buyers and sellers to the applicable conditions set forth in this Program Administration as updated annually and will be in a form approved by the Legacy Homes Coordinator and the Whitefish City Attorney.

The Legacy Homes will be deed restricted for a term of 90 years subject to renewal of the 90-year term anytime the property changes ownership.

*8. Recording of Deed Restrictions*

The developer or any owner selling a Legacy Home must cause to be recorded with the Flathead Clerk and Recorder's Office, simultaneous with the recording of the deed of sale, deed restriction

that fulfills the requirements of this section regarding controls placed on the occupancy and resale of Legacy Homes. The effect of recording said deed restriction is to create, in accordance with state law, an obligation that runs with the property. The Legacy Homes Coordinator/City Attorney will provide a template deed restriction to be used for the transaction. Initial affordability will be achieved by including in the Housing Mitigation Plan the terms of an escrow instruction requiring certification of Legacy Homes Program compliance by an escrow agent.

#### *9. Rental Prohibition*

Legacy Homes may not be rented to a second party, except at the discretion of and as approved in writing by the Legacy Homes Coordinator for instances in which the owner is under duress by reason of unemployment, family medical emergencies, inability to sell the home for an amount equal to or greater than the original sale price, or other unique circumstances of family hardship such as military deployment. In providing written permission, the Legacy Homes Coordinator will specify a limit on the rental not to exceed 24 months.

## RESPONSIBILITY FOR ADMINISTRATION

### *1. Legacy Homes Coordinator/Whitefish Housing Authority*

The Legacy Homes Coordinator and the WHA are responsible for the following functions regarding administration of the Whitefish Legacy Homes Program:

- a. Facilitate flow of information and communication among City staff, WHA, and applicants for development.
- b. Set, review, adjust and publish Legacy Home rental rates and housing prices based on available AMI and other variables for Flathead County.
- c. Review the individual Housing Mitigation Plans in coordination with City staff to determine if each plan can be approved by staff or recommended for approval by the City Council. If Plans are found to be deficient, the Legacy Homes Coordinator and City staff will work with the developer to resolve deficiencies.
- d. Track "available" and "in progress" Legacy Homes.
- e. Manage all prior affordable housing agreements and the prior affordable housing program.
- f. Act as the primary resource to prospective and active Legacy Home buyers and renters in the Legacy Housing Program by:
  - 1) Developing and implementing public education and information activities including workshops, newsletters and public presentations.
  - 2) Providing technical assistance.
  - 3) Screening and qualifying households eligible to purchase or rent Legacy Home units.
  - 4) Maintaining lists of pre-qualified households and matching qualified households with available housing units.
  - 5) Assisting with marketing of Legacy rental and ownership homes.
  - 6) Monitoring compliance of renters with Legacy Homes eligibility criteria.
  - 7) Providing information to home purchasers and owners regarding allowed appreciation of deed restricted units and determining resale values of Legacy Homes.
  - 8) Determining allowable annual increases in rent for Legacy Homes based on MBOH methodology.

### *2. Planning and Building Department*

This City department or its designees will be responsible for the following functions regarding administration of the Legacy Homes Program:

- a. Require applicants to prepare a Housing Mitigation Plan concurrently and as part of the development review process.
- b. Work with applicants to ensure the Legacy Homes proposed in the Housing Mitigation Plans follows the Legacy Homes Program Administration and helps the City meet its goals for housing as outlined in the 2017 Strategic Housing Plan.

- c. Recommend to City Council approval or disapproval of Housing Mitigation Plans, including proposals for ILF contributions, clustered units, and off-site housing units.
- d. For administrative CUPs, review and approve Housing Mitigation Plans as part of development approval process.
- e. Monitor developer compliance with Legacy Homes Programs regulations through completion of construction, and in the event of noncompliance, requesting that the City Manager direct action by appropriate departments regarding the department's responsibility for administrating the Legacy Homes Program.

### *3. City Council*

The City Council will be responsible for approving Housing Mitigation Plans as part of the standard development permitting process. Council is also responsible for adopting any updates to this Program Administration document including changes to AMI or affordable rates and evaluating whether the housing goals are being met.

## APPENDIX A: 2020 Home Prices, Rental Prices and In Lieu Fee

2020 Home Price Distribution:

<b>AMI%</b>	<b>OBR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>
<b>80%</b>	\$153,356	\$164,331	\$186,281	\$208,083
<b>90%</b>	\$172,525	\$184,872	\$209,566	\$234,094
<b>100%</b>	\$191,695	\$205,414	\$232,852	\$260,104
<b>110%</b>	\$210,864	\$225,955	\$256,137	\$286,114
<b>120%</b>	\$230,034	\$246,496	\$279,422	\$312,125

2020 Rental Price Distribution<sup>2</sup>:

<b>AMI %</b>	<b>OBR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>
<b>60%</b>	\$776	\$831	\$998	\$1,152
<b>70%</b>	\$905	\$970	\$1,164	\$1,344
<b>80%</b>	\$1,034	\$1,108	\$1,330	\$1,536

2020 Fee in Lieu of Providing Units:

<b>FRACTIONAL UNIT FEE:</b>	<b>WHOLE UNIT FEE:</b>
\$82,618.00	\$123,927.00

<sup>2</sup> Can be adjusted if utilities are *not* included in the rental price.



10/14/2020

To: Whitefish City Council

RE: Your 10/19/2020 Workshop and Council meeting and discussion of your first annual Affordable Housing report and annual building report

I provide the attached comments at the October 8, 2020 Whitefish Strategic Housing Committee meeting. I wanted to make sure that you got a chance to review the very comprehensive housing report with many informative maps which the City of Kalispell Planning Office produces. While Whitefish Planner, Wendy Compton-Ring who is a member of that committee, quickly dismissed my comments on the value of this Kalispell report, saying instead that such a report would be too much information that the public would not be interested in, I urge you to give this an independent look for yourself.

As one who works extensively with neighborhood groups, I think the public would very much value this more comprehensive report. Additionally, I think compiling this information for Whitefish would help to inform a diversity of committees working on issues from the Hwy 93 Corridor Committee to the newly forming transportation public input process.

I have also identified in the attached memo additional issues that I hope the Strategic Housing Committee, as well as the Council, will give additional consideration to as you move forward in your ongoing efforts to secure affordable housing and to address the appropriate scale of new development particularly in the historical single family housing neighborhoods in Whitefish.



October 8, 2020

Whitefish Strategic Housing Committee Public Comment

For your review I have attached the City of Kalispell's 2019 Housing Report which is much more comprehensive than the City of Whitefish's report. We would urge the city to significantly improve the city's housing report and then to use this data to update and expand the city's Annual Housing Report which is part of your agenda to review today.

1. **How does the city define "single family ownership units"?** It appears that it include townhouses and it appears to include duplexes, but where is the line drawn in the maximum number of units together that are still classified as single family ownership? How are condominiums classified?
2. **How and where does the city classify residential units that are part of a mixed-use development?**
3. **How and where does the city classify accessory dwelling units and how are they classified for affordability?** Are guest houses counted anywhere?
4. **Like the City of Kalispell Housing Report does it would be useful to have the Whitefish Housing report:**
  - Separate reporting numbers for SFR=Single Family Home, DUP/TH= Duplex and Town Houses, MFU= Multifamily Units . It would be useful to have a break out for SFR that show of the units built what was the range/value of the homes, to get a sense are any even remotely scaled to be affordable.
  - Neither Kalispell or Whitefish break out which of these housing types are developed as condominiums and this should be done. Condominiums are as the WF Housing reports call out are the most unaffordable housing and should be discouraged or limited, in the same sense that the City of Whitefish has limited where short-term rentals may be located.
  - Include the level of detail on commercial development by type as Kalispell does, which includes location, type, and square footage.
  - Include a breakout of subdivisions by lot types and in an accompanying chart by final or preliminary plat.
  - Include a vacant lot break out summary as Kalispell does.
  - Include a more detailed break out of annexation as Kalispell does.
  - Include the extensive and excellent set of maps that clearly show patterns of growth in the city over time.

# 2019 Construction, Subdivision and Annexation Report Kalispell, Montana



*Digestive Health*



*Children's Center*



*Great Northern Dental*

**Publish Date: February 2020**

**\$10.00**

**2019 Construction, Land Subdivision and Annexation Report**  
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 Kalispell, MT 59901  
 Phone: (406) 758-7940  
 Fax: (406) 758-7739  
[www.kalispell.com/planning](http://www.kalispell.com/planning)

**KALISPELL DEVELOPMENT SERVICES DEPARTMENT ACTIVITY**

**Jarod Nygren, Director**  
**Kari Hernandez, Office Coordinator**

**Planning Division**

Senior Planner – PJ Sorensen  
 Planner II -

**Community & Economic Development Division**

Assistant Director of Community Development – Katharine King  
 Community Development Office Admin – Krista Lammers Moran

**Building Division**

Building Official – Jeff Clawson  
 Permit Technician – Codi Evenson  
 Commercial Plans Examiner – Rick Parker  
 Building Inspectors – Shane Cooke & Dale Westphal  
 Fire Plan Review/Fire Inspector – Gary Hoes  
 Fire Inspectors – Jason Landis & Jeremy Work

**2014 through 2019 Building Department Activity Summary**

	2014	2015	2016	2017	2018	2019
<b>Total Building Permits Issued (all types)</b>	<b>270 (1 void)</b>	<b>276</b>	<b>323</b>	<b>290</b>	<b>280</b>	<b>281</b>
Commercial, Office, Industrial, Utility	79	75	126	79	80	67
Residential	156	163	173	180	181	210
Government, Public/Quasi Public,	13	16	3	10	12	3
Health Care	21	22	21	21	7	1
<b>New or Significant Commercial, Office, Industrial or Utility Permits (\$250,000 or greater)</b>	<b>14</b>	<b>16</b>	<b>25</b>	<b>21</b>	<b>20</b>	<b>21</b>
<b>Value of New or Significant Commercial, Office, Industrial, Utility &amp; Remod or Additions</b>	<b>\$13,219,709</b>	<b>\$19,841,582</b>	<b>\$23,637,004</b>	<b>\$39,641,500</b>	<b>\$21,156,047</b>	<b>\$25,785,792</b>
<b>New Residential Units</b>	<b>98</b>	<b>184</b>	<b>222</b>	<b>195</b>	<b>215</b>	<b>244</b>
Single Family, Townhouse and/or Duplex units	98	88	136	151	133	160
Multi-family units	0	96	86	44	82	84
<b>Value of All New Residential Units</b>	<b>\$20,478,148</b>	<b>\$22,936,339</b>	<b>\$31,782,525</b>	<b>\$25,558,959</b>	<b>\$36,283,902</b>	<b>\$41,728,860</b>
<b>New or Significant Additions to Public/Quasi-Public, Health Care Permits (\$250,000 or greater)</b>	<b>4</b>	<b>7</b>	<b>9</b>	<b>11</b>	<b>15</b>	<b>2</b>
<b>Value of New or Significant Public/Quasi-Public or Health Care</b>	<b>\$6,287,655</b>	<b>\$13,430,783</b>	<b>\$69,480,917</b>	<b>\$32,813,597</b>	<b>\$29,433,706</b>	<b>\$2,300,000</b>
<b>Total Value all Construction Types</b>	<b>\$45,316,909</b>	<b>\$63,512,562</b>	<b>\$128,914,228</b>	<b>\$104,600,358</b>	<b>\$91,429,643</b>	<b>\$65,849,456</b>

## 2014 through 2019 Planning Department Applications

	2014	2015	2016	2017	2018	2019
• Preliminary Subdivision Plat Applications	2	4	2	3	7	4
○ Total lots	32	328	39	193	268	194
• Preliminary Plats Expired	5	0	0	1	1	1
○ Total Lots	374	0	0	471	2	2
• Final Subdivision Plat Applications	4	4	5	2	8	6
○ Total lots	36	34	41	29	97	141
• Conditional Use Permit Applications	7	8	6	12	5	4
• Annexation Applications	3	1	4	7	7	4
○ Acres Annexed	60.2	4.14	38.64	85.71	217.51	7.4
○ Acres Deannexed	0	0	.34	0	0	0
• Zone Change Applications	0	2	4	3	5	2
• PUD (Planned Unit Developments approved)	1	1	0	4	4	0
○ Approximate acres of PUDs approved	10	26	0	200	335.2	0
• Growth Policy Amendments		2	1	2	2	2
• Zone Text Amendments	2	2	4	1	0	1
• Floodplain Development Permits	1	2	3	1	0	1
• Administrative Adjustments		3	1	2	1	7
• Agency Exemptions		5	1	0	1	0
• Sign Permits	61	52	85	67	72	<b>92</b>

## 2019 CONSTRUCTION, LAND SUBDIVISION AND ANNEXATION REPORT CITY OF KALISPELL

This report provides information on new housing construction, major commercial construction, divisions of land and annexations for the City of Kalispell.

Construction activity data is collected from building permits issued by the City of Kalispell Building Department. Residential construction types are referred to as single-family residence (**SFR**), duplex (**DUP**), townhouse (**TH**), multi-family unit (**MFU**), and manufactured home/mobile home (**MH**). For the purpose of this report, townhouse numbers are combined with the duplex category. Townhouses have become more common in recent years, but are not reflected in a separate category until 2003. Townhouses were counted in the SFR or DUP category previously to 2003. Numbers recorded for multi-family units, townhouses and duplexes represent the **actual number of living units** created within the housing projects. The **MH** category includes all classes of manufactured homes including double wide and modular homes. Senior apartment complexes and assisted living units are included in the multi-family category and numbers also represent the actual number of units within the project. This report also includes a summary of major commercial construction projects for which building permits were issued since 2006.

### Kalispell Building Permit Summary:

The City of Kalispell issues permits for most construction projects in the city. The total number of permits includes all types of construction including new, remodels and additions. The City of Kalispell issued 281 building permits during 2019.

Figure 1  
Total Building Permits Issued  
2008 – 2019

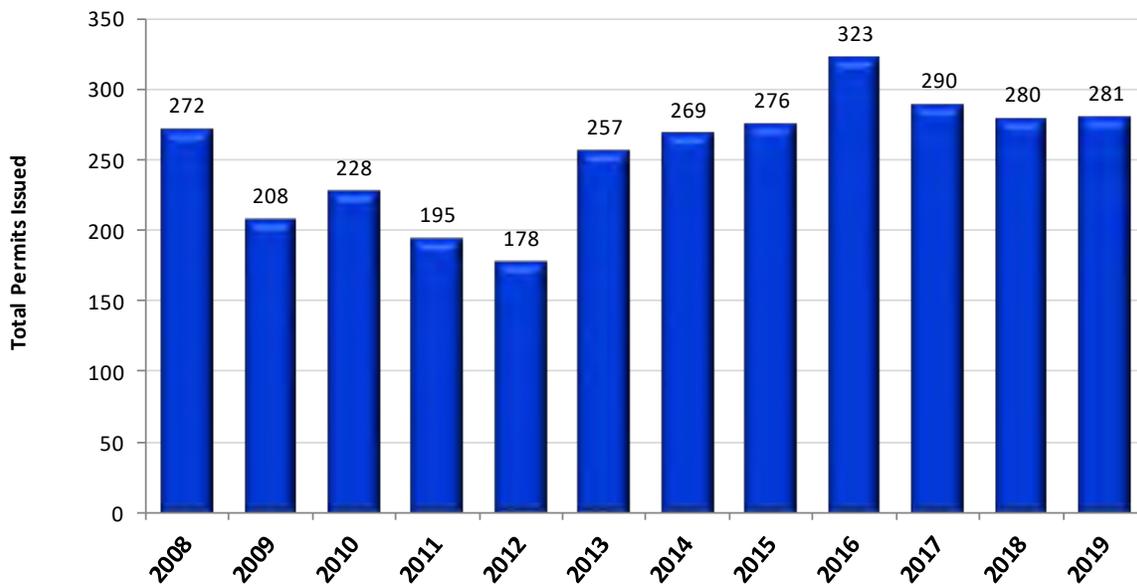
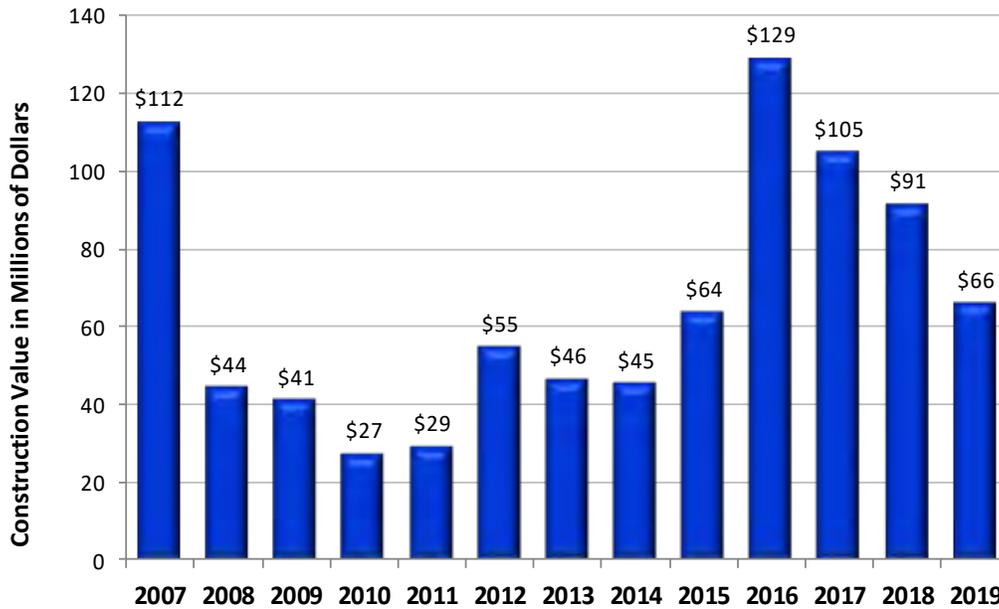


Figure 2  
Total Value of all Construction  
2007 – 2019



Source: City of Kalispell Building Permits 2007-2019

### New Residential Housing Construction

The majority of new housing continues to be for single-family homes. Since 2000, there has been increased demand for townhouse, duplex and multi-family housing, which tend to be more affordable than detached single-family housing. Because multi-family projects are usually constructed over a longer period of time, it is more feasible to look at annual averages for this type of housing over a five year period.

Figure 3  
New Residential Units, 2004 - 2019

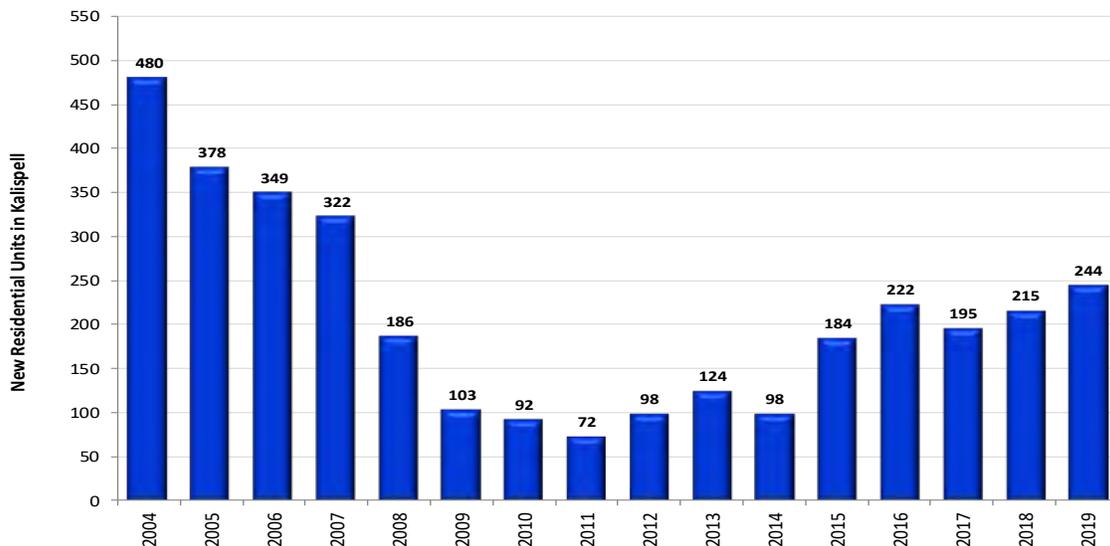


Figure 4  
New Residential Units by Type, 1994 – 2019

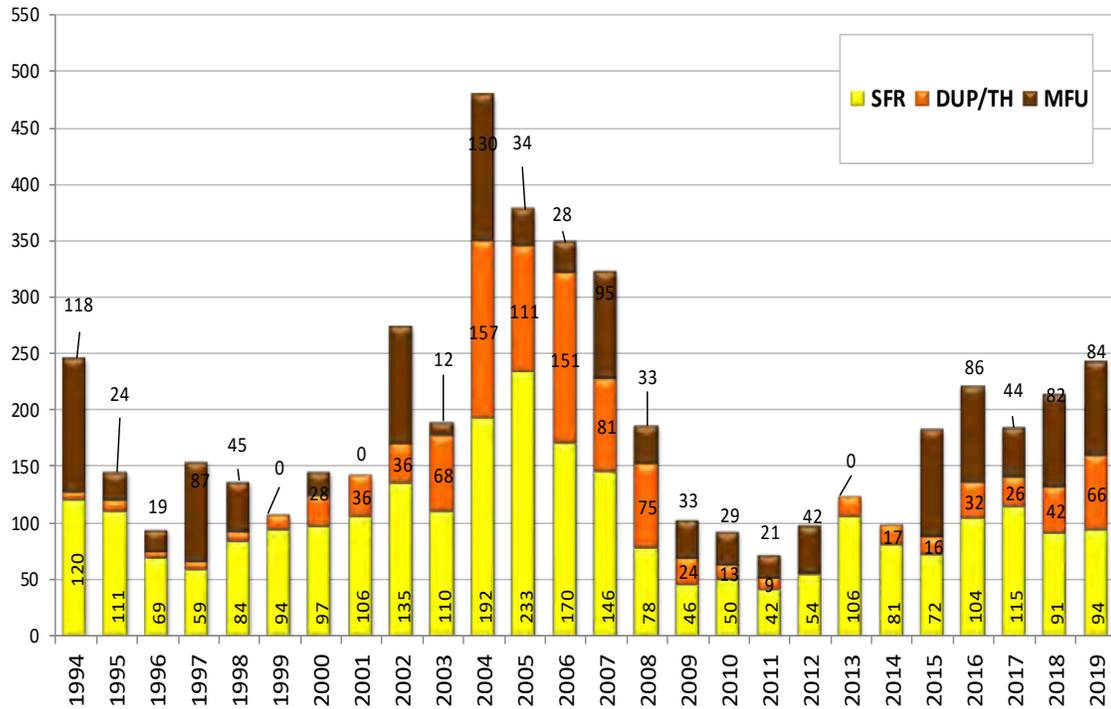


Table 1  
New Residential Construction Summary by Type  
City of Kalispell, 2008-2019

<b>TYPE</b>	<b>08</b>	<b>09</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>	<b>16</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>% chg 18 - 19</b>
<b>Single Family units</b>	78	46	50	42	54	106	81	72	104	115	91	94	+3.29%
<b>Duplex units</b>	21	8	3	1	0	2	3	4	8	8	6	2	-66.66%
<b>Townhouse units</b>	54	16	10	8	2	16	14	12	24	28	36	64	+77.77%
<b>Multi-Family units</b>	33	33	29	21	42	0	0	96	86	44	82	84	+2.43%
<b>Manufactured Homes</b>	0	0	0	0	0	0	0	0	0	0	0	0	0.00%
<b>TOTAL</b>	<b>186</b>	<b>103</b>	<b>92</b>	<b>72</b>	<b>98</b>	<b>124</b>	<b>98</b>	<b>184</b>	<b>222</b>	<b>195</b>	<b>215</b>	<b>244</b>	<b>+13.48%</b>

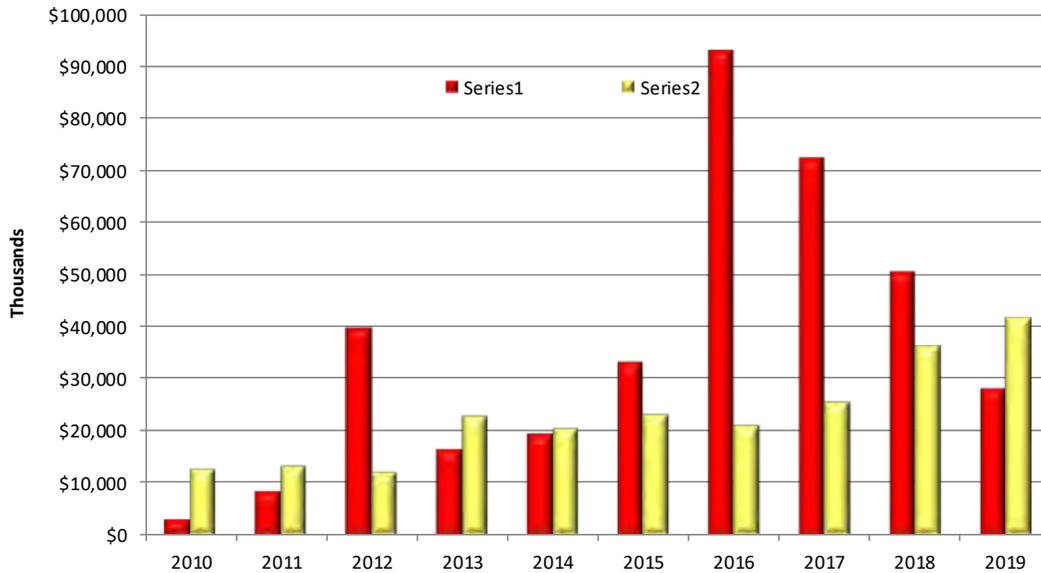
Source: City of Kalispell Building Permits 2008-2019

Table 2  
New Residential Construction Summary, City of Kalispell, 2010-2019

YEAR	SFR	% of total	DUP/TH	% of total	MFU	% of total	MH	% of total	TOTAL UNITS
2010	50	54.4%	13	14.1%	29	31.5%	0	0%	92
2011	42	58.3%	9	12.5%	21	29.2%	0	0%	72
2012	54	55.1%	2	2.0%	42	42.9%	0	0%	98
2013	106	85.5%	18	14.5%	0	0%	0	0%	124
2014	81	82.7%	17	17.3%	0	0%	0	0%	98
2015	72	39.1%	16	8.7%	96	52.2%	0	0%	184
2016	104	46.8%	32	14.4%	86	38.7%	0	0%	222
2017	115	58.9%	36	18.5%	44	22.6%	0	0%	195
2018	91	42.3%	42	19.6%	82	38.1%	0	0%	215
<b>2019</b>	<b>94</b>	<b>38.52%</b>	<b>66</b>	<b>27.05%</b>	<b>84</b>	<b>34.43%</b>	<b>0</b>	<b>0%</b>	<b>244</b>
<b>10 Year Average</b>	<b>81</b>		<b>25</b>		<b>48</b>				<b>154</b>

Source: City of Kalispell Building Permits, 2010-2019

Figure 5  
New or Significant Non-Residential Construction Values, 2010-2019



## Non-Residential Construction

A list of major new commercial/retail/office; public structures; and significant additions during 2019 and the previous seven years is provided in Table 3.

Table 3  
City of Kalispell, 2012 through 2019 Building Permits  
New Non-Residential Construction and Significant Additions

<b>New Commercial/Retail Construction</b>					
<b>YEAR</b>	<b>ADDRESS</b>	<b>NAME</b>	<b>DESCRIPTION</b>	<b>TYPE</b>	<b>SQ FT</b>
2019	55 1 <sup>st</sup> Ave WN	Sunrift Pubhouse	Restaurant	Remodel	3,858
2019	635 Treeline Rd	Dee O Gee	Retail	New	4,100
2019	2292 Hwy 93 North	Spring Prairie 4 Outlot C shell building	Retail	New	4,524
2019	625 Treeline Rd	Treeline Center Lot 5 shell building	Retail	New	6,155
2019	555 E Swift Creek Way	Worlds Gym	Retail	New	17,500
<b>2019</b>					<b>36,137</b>
2018	755 Treeline Rd	My Place	Hotel	New	37,529
2018	2244 Highway 93 N	Spring Prairie Shops 2	Retail	New	7,118
2018	665 Treeline Rd	Grease Monkey	Service	New	3,144
2018	2240 Highway 93 N	Panera Bread	Restaurant	New	4,877
2018	2270 Highway 93 N	REI	Retail	New	20,264
2018	635 Treeline Rd	Treeline Retail Center	Retail	New	7,000
<b>2018</b>					<b>79,932</b>
2017	2915 Highway 2 W	Green Nissan	Dealership	New	22,534
2017	2280 Highway 93 N	Home Goods	Retail	New	18,890
2017	1110 Highway 2 W	McDonalds	Restaurant	New	5,321
2017	2955 Highway 93 S	Green Hyundai	Dealership	New	19,220
2017	200 Rose Crossing	Kalispell Ford	Dealership	New	52,000
2017	2298 Highway 93 N	Harbor Freight	Retail	New	15,175
<b>2017</b>					<b>133,140</b>
2016	2260 Highway 93 N	Hobby Lobby	Retail	New	55,054
2016	20 N. Main St	Herbergers Addition	Clothing Store	Addition	40,000
2016	1305 highway 2 W	Fuel Fitness	Health Club	New	13,734
2016	2274 Highway 93 N	Krispy Kreme	Restaurant	New	2,671
2016	35 Treeline Rd	Chick-Fil-A	Restaurant	New	4,539
2016	2286 Highway 93 N	Spring Prairie 4 Shops	Retail	New	N/A
<b>2016</b>					<b>115,998</b>

New Commercial/Retail Construction					
YEAR	ADDRESS	NAME	DESCRIPTION	TYPE	SQ FT
2015	201 18 <sup>th</sup> St E	Popeye's	Restaurant	New	2,695
2015	250 Old Reserve Dr	Marriot	Hotel/Motel	New	60,401
2015	165 Treeline Rd	Dress Barn	Clothing Store	New	7,526
2015	175 Treeline Rd	Shell	Shell	New	7,501
2015	3201 Hwy 93 S	Captain's Marine	Boat Sales	New	17,607
2015	55 Treeline Rd	Discount Tire	Tire Store	New	9,554
2015	115 Hutton Ranch Road	Buffalo Wild Wings	Restaurant	Addition	869
<b>2015</b>					<b>106,153</b>
2014	145 Hutton Ranch Rd	Sportsman Ski Haus	Sporting Goods	Addition	26,000
2014	2330 Hwy 93 N	Costco	Cooler	Addition	3,100
2014	65 Treeline Rd	Petsmart	Pet Store	New	12,211
2014	75 Treeline Rd	Boot Barn	Shoe Store	New	9,746
2014	145 Treeline Rd	Michael's	Arts & Crafts Store	New	18,148
2014	155 Treeline Rd	Ulta	Cosmetics Store	New	9,872
2014	25 Treeline Rd	Verizon	Phone Store	New	4,054
2014	85 Treeline Rd	Sport's Clips (in the Shops)	Barber/Beauty Shop	New	1,341
2014	10 North Main St	Starbucks	Coffee Shop	New	2,018
2014	205 18 <sup>th</sup> St E	Burger King	Restaurant	New	2,818
2014	22 Village Loop	Bridge Club	Bridge Club	New	3,126
<b>2014</b>					<b>92,434</b>
2013	125 Treeline Rd	Cabela's	Retail Store	New	42,164
2013	412 Main St	Kalispell Brewery	Brewery	New	9,500
2013	1645 Airport Rd	The Juicery	Drive Up Coffee	New	264
2013	45 Treeline Rd	McKenzie River Pizza Grill & Pub	Restaurant	New	6,882
2013	3075 Hwy 93 S	Fred's Appliance	Appliance Store	New	23,738
2013	85 Treeline Rd	The Shops	Retail Shell	New	10,000
2013	10 Meridian Court		Repair Shop	New	3,200
<b>2013</b>					<b>95,748</b>
2012	101 E Center St	Loading Dock/Pub	Restaurant/Pub	Addition	2,205
2012	195 Hutton Ranch Rd	Hilton Homewood Suites	Motel/Hotel	New	79,844
<b>2012</b>					<b>82,049</b>

New Office Construction					
YEAR	ADDRESS	NAME	DESCRIPTION	TYPE	SQ FT
2019	100 Westview Park Place	Precision Physical Thereapy	Office	Remodel	3,858
2019	165 Commons Loop	Glacier Law Firm	Office	Remodel	3,040
2019	49 Commons Loop	Glacier Bank	Office	Remodel	15,000
2019	175 Timberwolf Parkway	Glacier Eye Clinic	Office	Addition	6,269
2019	1315 Hwy 2 West	406 Dentistry	Office	Remodel	3,908
2019	165 Timberwolf Parkway	Payne West	Office	New	17,147
2019	176 Timberwolf Parkway	DA Davidson	Office	New	7,154
<b>2019</b>					<b>56,376</b>
2018		0 (no new or significant office construction)			0
2017		0 (no new or significant office construction)			0
2016		0 (no new or significant office construction)			0
2015		0 (no new or significant office construction)			0
2014	233 E Idaho St	Three Rivers Bank	Office	Addition	15,349
2014	724 2 <sup>nd</sup> St E	Smart Insurance	Office	Addition	2,077
<b>2014</b>					<b>17,426</b>
2013	175 Timberwolf Parkway	Glacier Eye Clinic	Office	New	14,772
<b>2013</b>					<b>14,772</b>
2012	101 Westview Park Place	Alpine Family Dental	Office	New	2,781
2012	138 E Center St (formerly 2 2 <sup>nd</sup> Ave E)	A2Z Engineering	Shell for Offices	New	2,000
<b>2012</b>					<b>4,781</b>

New Industrial Construction					
YEAR	ADDRESS	NAME	DESCRIPTION	TYPE	SQ FT
2019	700 Rail Park Dr.	CHS Fuel Station	Glacier Rail Park	New	
2019	700 Rail Park Dr.	CHS Warehouse	Glacier Rail Park	New	26,000
2019	1105 Oregon Ave.	NW Drwall	Glacier Rail Park	New	29800
<b>2019</b>					<b>55,800</b>
2018	700 Rail Park Rd	CHS Dry Fertilizer Storage	Glacier Rail Park	New	17,428
2018	700 Rail Park Rd	CHS Grain-Elevator	Glacier Rail Park	New	2000
<b>2018</b>					<b>19,428</b>

<b>2017</b>		<b>0 (no new or significant Industrial Construction)</b>			<b>0</b>
<b>2016</b>		<b>0 (no new or significant Industrial Construction)</b>			<b>0</b>
2015	<b>120 Westview Park Place</b>	Proven Graphics	Graphics Manufacturing/Office	<b>New</b>	<b>3105</b>
2015	<b>165 Schoolhouse Loop</b>	Fed X	Addition	<b>Addition</b>	<b>6,460</b>
<b>2015</b>					<b>9,565</b>
2014		Alt Hwy 93 (south) Turner	Bypass Sound WALL		<b>n/a</b>
<b>2014</b>		<b>n/a</b>			
<b>2013</b>		<b>0 (No New or Significant Industrial Construction)</b>			
<b>2012</b>		<b>0 (No New or Significant Industrial Construction)</b>			

<b>New Government, Public, Quasi-Public, Health Care</b>					
<b>YEAR</b>	<b>ADDRESS</b>	<b>NAME</b>	<b>DESCRIPTION</b>	<b>TYPE</b>	<b>SQ FT</b>
2019	601 1 <sup>st</sup> Ave W	St Mathews Church	Church	Remodel	4,896
2019	244 Stillwater Rd.	Beehive Homes	Assisted Living	Addition	14,149
<b>2019</b>					<b>19,045</b>
2018	580 N Meridian Rd	Vision Clinic	Health	New	9,528
2018	60 Village Loop	Oral Surgery	Health	New	3,400
2018	85 Village Loop	Dental Great Northern	Health	New	3,210
2018	725 Grandview Dr	FVCC	School	Addition	7,125
2018	135 Glenwood Dr	Sterling	Private Schoole	New	5,500
<b>2018</b>					<b>28,763</b>
2017	2155 Airport Rd	Rankin Elementary	School	New	58,033
2017	320 Sunny View Ln	Digestive Health Institute	Health Care	New	28,216
2017	120 1 <sup>st</sup> Ave East	Freshlife Church	Church	Addition	8,350
<b>2017</b>					<b>94,599</b>
2016	180 Timberwolf Pkwy	Kalispell Oral Surgery	Health Care	New	7,815
2016	70 Village Loop	Northwest Family Medicine Clinic	Medical Offices	New	8,249
2016	310 Sunny View Ln	Womens & Children Pavilion	Health Care	New	164,691
2016	2205 Highway 93 N	FVCC Housing	Campus Housing	New	51,277
2016	310 Sunny View Ln	Central Plant Expansion	Health Care	Modification	8,241
2016	40 Claremont St	Immanuel Lutheran Memory Care	Health Care	Modification	25,485
2016	40 11 <sup>th</sup> St. W.	Flathead County Building Skybridge	Skybridge	New	1,041
<b>2016</b>					<b>266,799</b>

New Government, Public, Quasi-Public, Health Care					
YEAR	ADDRESS	NAME	DESCRIPTION	TYPE	SQ FT
2015	40 11 <sup>th</sup> St W	Flathead County	South Campus Offices	New	30,000
2015	820 S Main St	Flathead County	Juvenile Detention & Old Jail	Remodel & Addition	8,105
2015	242 Stillwater Rd	Beehive Homes	Nursing Home	New	12,149
2015	255 Summit Ridge	Assembly of God Church	Church	Addition	4,968
2015	405 Liberty Street	Faith Free Lutheran Church	Church	Addition	11,754
<b>2015</b>					<b>66,976</b>
2014	Heritage Way	Kalispell Regional Medical Center	Radiation/Oncology	Addition	14,446
2014	1252 N Meridian Rd		Dental Offices	New	6,544
2014	350 Heritage Way	The Rock	Medical Offices	Addition	27,555
2014	310 Sunnyview Ln	Kalispell Regional Medical Center	ER waiting room expansion	Addition	1,856
<b>2014</b>					<b>50,401</b>
2013	1119 2 <sup>nd</sup> St W	Peterson School	School	Addition	9,060
2013	1400 Whitefish Stage Rd	Edgerton School	School	Addition	4,745
2013	106 Northwest Ln	School District No. 5	School Kitchen & Offices	New	5,414
2013	1275 Hwy 2 W	The River	Church	New	29,772
2013	125 Glenwood Dr	Prestige Memory Care	Assisted Living	Addition	11,548
<b>2013</b>					<b>60,539</b>
2012	725 Grandview Dr	FVCC Nursing Center	School	New	35,810
2012	310 Sunnyview Ln	Kalispell Regional Medical Center	Hospital	Addition	125,045
<b>2012</b>					<b>160,855</b>

Source: City of Kalispell Building Permits, 2012-2019

### City of Kalispell Construction Value Summary

Figures 6 and 7, on page 14, provide an overview of construction values of the different types of residential and non-residential projects. These values are not market values and do not include land or utility values.

Figure 6  
New Construction Values by Type

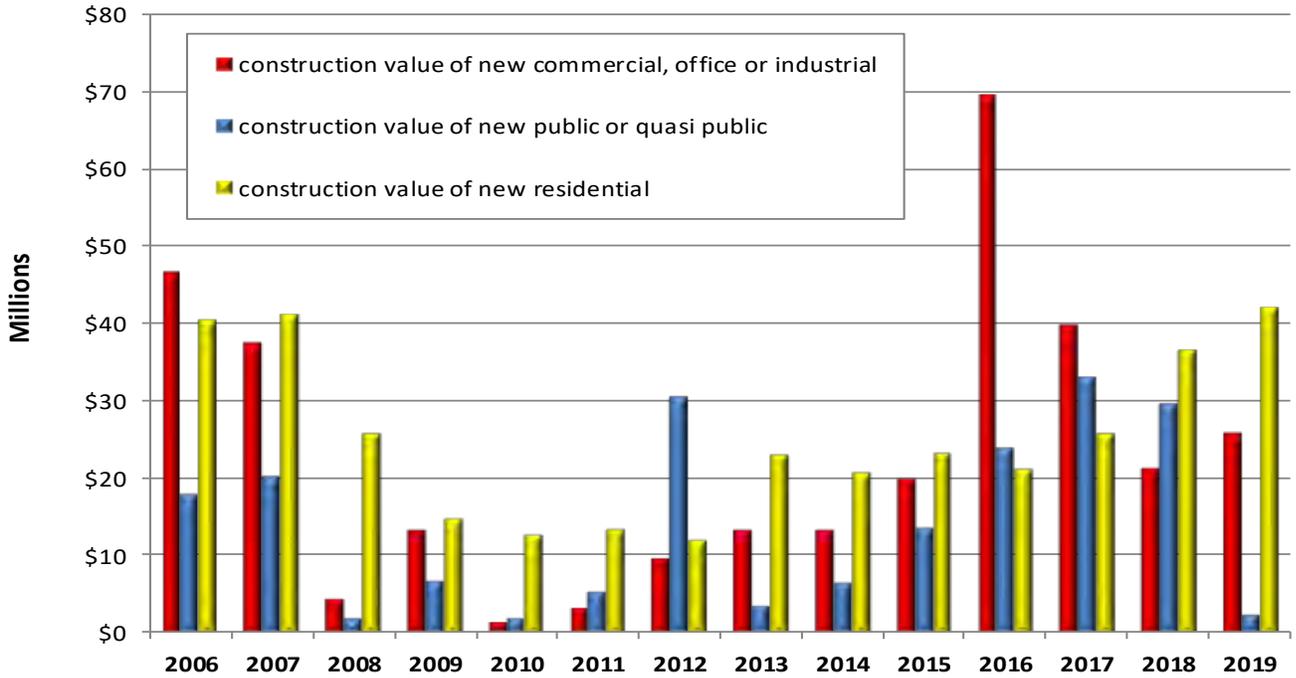
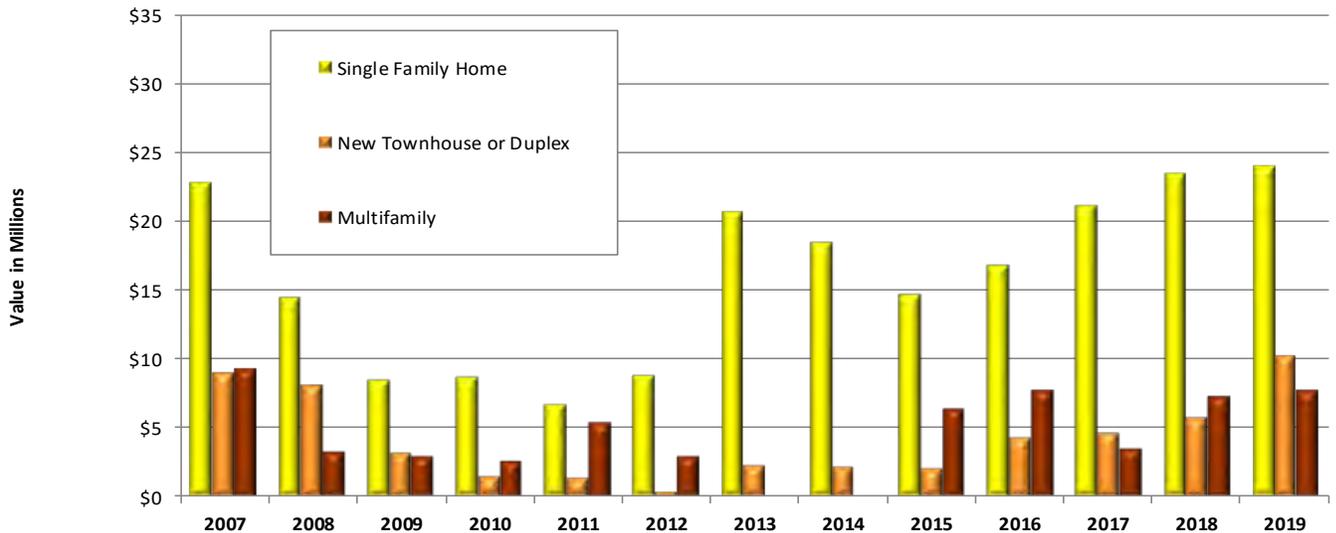


Figure 7  
New Residential Construction Values

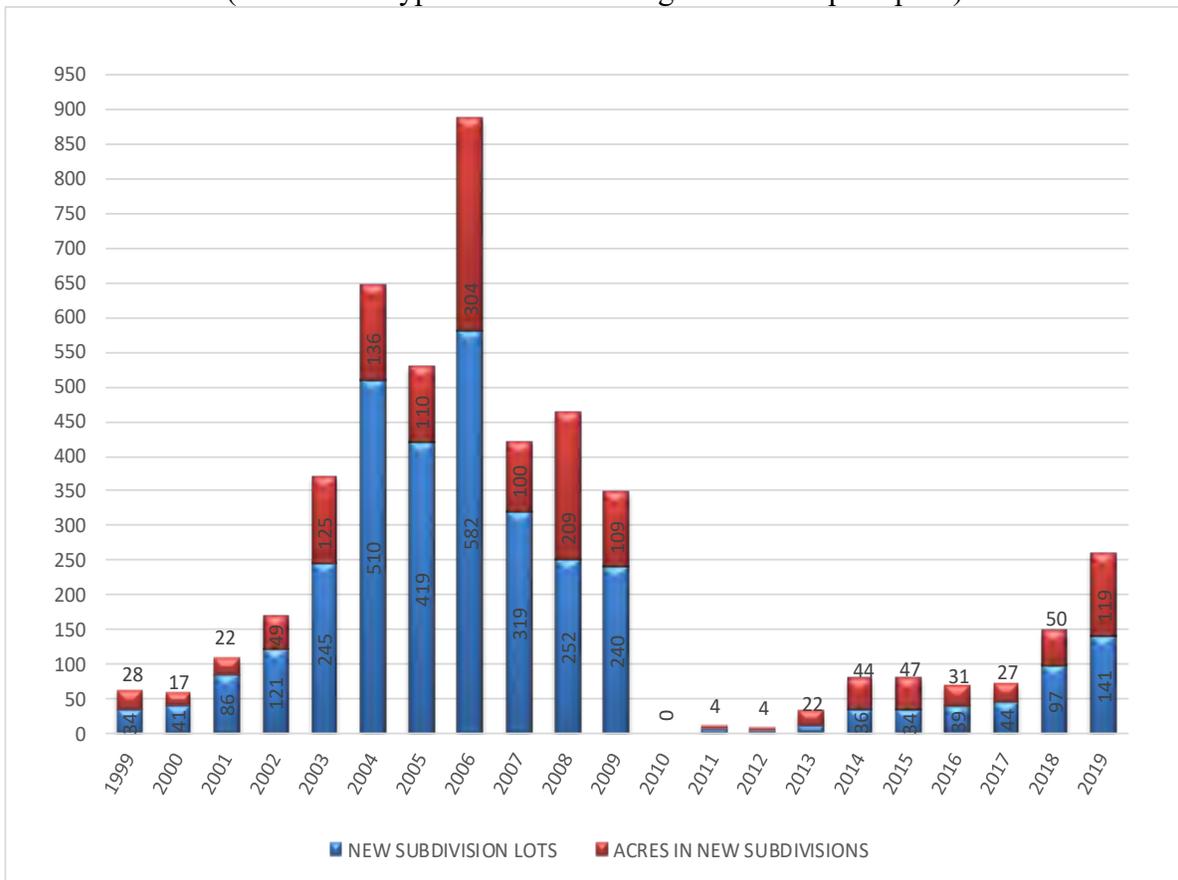


# CITY OF KALISPELL LAND SUBDIVISION ACTIVITY

## Final Subdivision Plats

The purpose of the final plat is to review the proposed subdivision for proper final engineering and subdivision design, to provide for dedication of lands required for public use, for the construction of public improvements, and for conformance with the preliminary plat. The final plat incorporates all modifications required in its preliminary plat review. Once a subdivision is final platted all of the associated lots can be sold and city services are available to the lot.

Figure 8  
Land Subdivision, City of Kalispell 1999-2019  
(includes all types of lots including roads and open space)



Source: City of Kalispell Planning Department Subdivision Applications: 1999-2019

Table 4  
Land Subdivision Activity Summary, City of Kalispell

<b>all types</b>	<b>2010</b>	<b>2011</b>	<b>2012</b>	<b>2013</b>	<b>2014</b>	<b>2015</b>	<b>2016</b>	<b>2017</b>	<b>2018</b>	<b>2019</b>	<b>TOTAL</b>
# new lots	0	7	4	10	36	34	39	44	97	141	412
Acres in lots	0	4.1	3.9	21.9	37.7	40.3	30.5	22	40	76.31	276.71
Acres open space	0	1.4	0	3.7	2.6	3.0	0	2.5	2.6	28.44	44.24
Acres in roads	0	.9	.2	0	3.3	3.2	.4	2.3	7.4	12.84	30.54
Total acres	0	6.4	4.1	25.6	43.6	46.5	30.9	26.8	50	118.91	352.81

Source: City of Kalispell Planning Department Subdivision Applications: 2010-2019

Table 5  
Approved Final Subdivision Plats by Lot Type, City of Kalispell  
(Total acres include roads, parks and open space)

<b>YEAR</b>	<b>SUBDIVISION NAME</b>	<b>Total # of lots</b>	<b>Com, Ind or Public lots</b>	<b>Single Family lots</b>	<b>Dup or TH lots</b>	<b>Multi family lots</b>	<b>Park-open space acres</b>	<b>Total acres</b>	<b>Road or location</b>
<b>2019</b>	Amended Lot 1 of Village Plaza	2	2					.43	Village Loop
	Brightview Phase 2	13	13					26.05	Reserve Place & Wolfpack Way
	Meadows Edge Phase 1A	45		19	26			16.1	Farm to Market
	Glacier Rail Park	4	4					44.07	Rail Park Drive
	Southside Estates Phase 2	30		4	26			9.625	Airport Rd
	<b>Total 2019</b>	<b>94</b>	<b>19</b>	<b>23</b>	<b>52</b>			<b>96.28</b>	
<b>2018</b>	Owl View	3				3		3.8	Taelor Rd
	Glacier Village Greens Ph 21	18		2	16		0.6	3.6	W Nicklaus Ave
	Treeline Village	7	7					6.785	Treeline Rd
	Silverbrook Ph 2A-A	2	2				0.37	4.48	Church Dr
	Mountain Vista Estates Ph 4C	7		7				1.528	Mountain Vista
	Cliff View	3		3				.615	Mile High Ct
	Bloomstone Ph 2	46		36	10		1.61	11.187	Treeline Rd
	Silverbrook Ph 2B-A	11		10		1		18.3	Silvertip Trl
	<b>Total 2018</b>	<b>97</b>	<b>9</b>	<b>58</b>	<b>26</b>	<b>4</b>	<b>2.58</b>	<b>50.3</b>	
<b>2017</b>	Kalispell North Town Center Phase 1	2	2				2.5	18	Hwy 93
	Southside Estates	42	0	16	26		0	8.8	Pintail Dr / Merganser Dr

	<b>Total 2017</b>	<b>44</b>	<b>2</b>	<b>16</b>	<b>26</b>		<b>2.5</b>	<b>26.8</b>	
<b>2016</b>	Glacier Village Greens Phase 22C	14		14			0	1.7	E. Nicklaus Ave
	Spring Prairie Development Four – Phase 2	14	14				0	25.9	Hwy 93 / Old Reserve
	Westview Estates-Owl View Townhomes	6			6		0	1.4	Taelor Rd / 3 Mile Dr
	Mountain Vista Estate, Phase 4B	5	0	5			0	1.5	Vista Ct
	<b>Total 2016</b>	<b>39</b>	<b>14</b>	<b>19</b>	<b>6</b>		<b>0</b>	<b>30.5</b>	
<b>2015</b>	Bloomstone Ph 1A West	26		25		1	3.009	16.32	Treeline Rd
	Subdivision 288	2	2					1.41	Hwy 93 S & 18 <sup>th</sup> St E
	Stillwood Farms	4			4			.55	Three Mile Dr & N Riding Rd
	Spring Prairie Dev Four – Ph 1	2	2					28.23	Hwy 93 N
	<b>Total 2015</b>	<b>34</b>	<b>4</b>	<b>25</b>	<b>4</b>	<b>1</b>	<b>3.0</b>	<b>46.5</b>	

Source: City of Kalispell Planning Department Subdivision Applications: 2015-2019

### Preliminary Subdivision Plats

These are proposed subdivisions that the preliminary plats have been approved and have not had a final plat application submitted or approved yet. When a preliminary plat application is approved, the applicant has 3 years to submit the final plat for approval, or an extension can be requested. The final plat may differ slightly from the preliminary plat, in design and lot configuration, but cannot have more lots than originally approved.

Table 6  
2019 Preliminary Subdivision Applications

SUBDIVISION NAME	TOTAL LOTS	COM, IND, PUBLIC LOTS	SINGLE FAMILY LOTS	DUP/TH LOTS	MULTI FAMILY LOTS	ACRES	ROAD OR LOCATION
Frontier Village	1				1	9.3	Treeline Rd.
Stillwater Bend	10	10				24.82	Two Mile / Three Mile
Jaxon Ridge	24			24		3.90	Village Loop Dr
<b>TOTAL</b>	<b>35</b>	<b>10</b>		<b>24</b>	<b>1</b>	<b>38.02</b>	

## Vacant Lot Inventory

Beginning with the 2009 report, the Planning Department began an inventory of the approximate number of vacant lots in subdivisions that were final platted in the City of Kalispell since 2000. The vacant land and lot numbers do not include parks, or other open space or vacant school lands. These lots have city services available and are ready to be developed. A list of subdivisions approved since 2000 and the approximate number of vacant lots within each subdivision as of December 31, 2019 is provided in Tables 7 and 8.

Table 7  
Number of Vacant Non-Residential Lots in Subdivisions  
Approved from 2002 through 2019

Approved	Name	Vacant Lots	Type of Vacant Lots	General Location
2019	Amended Lot 1 Village Plaza	2	Commercial	Village Loop
2019	Brightview Phase 2	9	Commercial	Reserve Place/Wolfpack Way
2018	Kalispell North Town Center Ph2	10	Commercial	Rose Crossing
2018	Silverbrook Ph 2A-A	1	Commercial	Church Dr
2012	Manion Square	1	Commercial	E Center St/3 <sup>rd</sup> Ave E
2007	Westview Business Center & Westview Business Center No 2	1	Commercial	N Meridian Rd
2006	Appleway Business Park	2	Commercial	Appleway Dr
2006	Old School Station	14	Industrial	US Hwy 93 S & Demersville Rd
2005	Daley Field	3	Commercial	US Hwy 93 S
2003	J & L Subdivision	1	Commercial	S Meridian Rd
2002	Buffalo Commons Portions of Ph3 & Ph4	2	Commercial	Commons Loop
<b>Total Vacant Non-Residential Lots</b>		<b>46</b>		

Table 8  
Number of Vacant Residential Lots in Subdivisions  
Approved from 2004 through 2019

Approved	Name	Residential Vacant Lots	General Location
2019	Southside Estates Phase 2	21	Airport Rd.
2018	Silverbrook Ph2B-A	6	Silvertip Trl
2018	Bloomstone Ph2	31	Treeline Rd
2018	Cliff View	3	Mile High Ct
2018	Mountain Vista Estates Ph4C	3	Mountain Vista
2018	Glacier Village Greens Ph21	4	W Nicklaus Ave
2017	Southside Estates	9	Pintail Dr
2016	Glacier Village Greens	6	E Nicklaus Ave
2016	Owl View Townhomes	4	Taelor Rd
2016	Mountain Vista Estates PH4B	1	Mountain Vista Ct
2014	Mountain Vista Estates Ph 4A	1	Mountain Vista Way
2014	Northland Ph 4	8	Northland Dr/ Four Mile Dr
2008/2009	Silverbrook Estates Ph 1 & 1A	98	US Hwy 93 & Church Dr
2009	West View Estates Ph 3	5	W Reserve Dr
2008	Aspen Creek Ph 2	27	Three Mile Dr
2007	Diamond Ridge Estates	4	Three Mile Dr
2007	Mountain Vista Estates Ph 2	4	Three Mile Dr
2007	Northland Ph 3	2	Northridge Dr
2007	Westwood Park	8	Corporate Dr
2006	Aspen Creek Ph 1	20	Three Mile Dr
2006	Meadow Park Unit No 3	1	End of S Woodland Dr
2006	Northland Ph 2	1	Parkridge Dr
2006	Stillwater Bluffs	4	Country Way S
2006	Village Heights	6	Whitefish Stage Rd
2006	West View Estates Ph 1 & 2	12	W Reserve Dr & StillwaterRd
2005	Glacier Village Greens Ph 20	3	W Nicklaus Ave
2005	Leisure Heights No 2	3	Willow Glen Dr
2005	Muskrat Slough	1	Willow Glen Dr
2005	Northland Ph 1	1	Stillwater Rd
2005	Sinopah Sub	1	Northwest Ln
<b>Total Vacant Residential Lots</b>		<b>278</b>	

Source: City of Kalispell Planning Department; Existing Land Use Inventory, December 31, 2019  
The appendix of this document contains a map showing the vacant lands in the City of Kalispell and in the Annexation Policy area as of December 31, 2019. (Maps 8 and 9)

**Annexation Activity**

Annexations are generally accomplished through a petition by the property owner or developer representing the property, and are requested for the main purpose of accessing city utilities allowing for higher density residential and commercial development.

The area of the City of Kalispell has more than doubled in land area since 2000. U. S. Census data determined that the area of the City of Kalispell in 1990 was 4.4 square miles and 5.5 square miles in 2000. At the end of 2018, the City of Kalispell encompassed approximately 8059.6 acres or 12.6 square miles.

Figure 9  
City of Kalispell Land Area

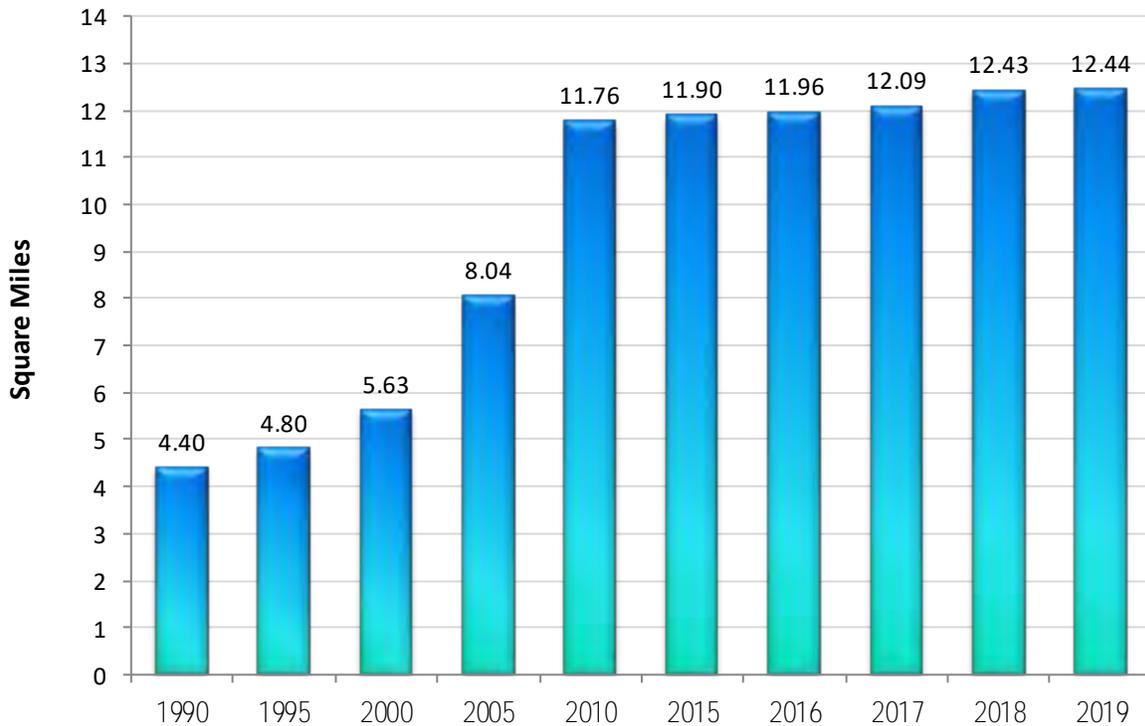


Table 9

City of Kalispell Annexations  
2014 – 2019

RES#	DATE	SEC	TWN	RNG	LOCATION	ACRES	PROPOSED LAND USE/ DEVELOPMENT NAME
5907	01/22/2019	2	28	22	Two Mile Dr.	1	Residential
5923	6/17/2019	19	28	21	Sunnyside Dr.	2.5	Residential
5950	12/2/2019	17	28	21	Woodland Dr.	3.9	Residential
<b>2019 TOTAL ACRES ANNEXED</b>						<b>7.4</b>	
5849	1/1/2018	19	28	21	Airport Rd	9.6	Residential
5856	3/5/2018	28	22	12	Two Mile Dr	20	Residential
5858	3/7/2018	32	29	21	Whitefish Stage	.875	Residential
5869	5/7/2018	11	28	22	Two Mile Rd	90.76	Residential-Com.
5871	5/7/2018	13	28	22	Fenn Way	10.48	Residential-Com.
5873	6/4/2018	03	28	22	Farm To Market Rd	112	Residential-Com.
5899	9/4/2018	29	28	21	Hwy 93 Alternate	4.27	RV Park
<b>2018 TOTAL ACRES ANNEXED</b>						<b>247.98</b>	
5796	1/3/2017	20/29	28	21	Airport Rd	24.88	Rankin Elementary School
5814	6/5/2017	24/25	29	22	Hwy 93 / Nob Hill Rd	56	Residential & Business
5815	6/5/2017	19	28	21	Sunnyside Dr	4	Residential
5824	8/7/2017	21	28	21	5 <sup>TH</sup> Ave E	.67	Residential
5839	10/2/2017	17	28	21	5 <sup>th</sup> Ave E	.16	Residential
5825	8/21/2017	20	28	21	Airport Rd	3.89	Commercial
<b>2017 TOTAL ACRES ANNEXED</b>						<b>89.6</b>	
5776	9/19/2016	7	28	21	(Annexation)8 <sup>th</sup> Ave WN	.37	MT Chip Partners
5776	9/19/2016	7	28	21	(Deannexation)8 <sup>th</sup> Ave WN	.34	MT Chip Partners
5783	10/3/2016	30	29	21	Hwy 93 / W. Reserve	5.7	Eisinger Motor
<b>2016 TOTAL ACRES ANNEXED</b>						<b>5.73</b>	
5708	4/6/2015	30	29	21	W Reserve Dr	4.14	C-Store, Gas Station, Casino
<b>2015 TOTAL ACRES ANNEXED</b>						<b>4.14</b>	
5667	4/7/2014	19	29	21	Hwy 93 N	18.6	Single Family Residential
5669	4/21/2014	8	28	21	Whitefish Stage/Flathead Dr	40.7	FCEDA Industrial Rail Park
5674	6/2/2014	20	28	21	Hwy 93 S / 3 <sup>rd</sup> Ave E	.87	More/Schreiner-connect to utilities
<b>2014 TOTAL ACRES ANNEXED</b>						<b>60.2</b>	

## APPENDIX – Maps

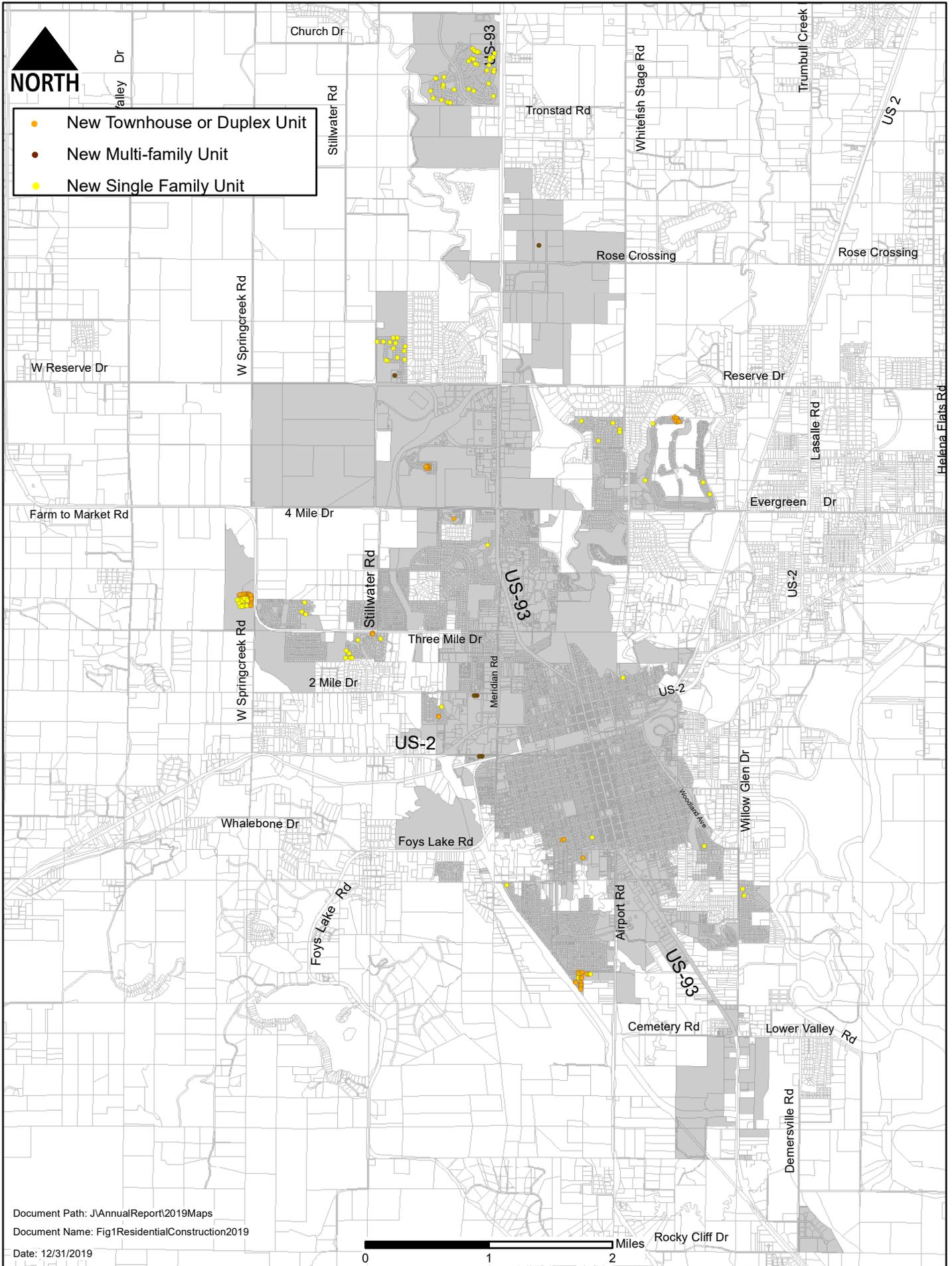
Map 1	City of Kalispell, New Residential Construction, 2019
Map 2	City of Kalispell, New Residential Construction, 2000 through 2019
Map 3	City of Kalispell, Commercial, Industrial Office of Public Sonstruction, 2019
Map 4	City of Kalispell, Commercial, Industrial Office or Public Construction, 2000 through 2019
Map 5	City of Kalispell Subdivision Activity, 2019 (includes pending subdivisions)
Map 6	City of Kalispell Subdivision Activity, 2000 -2019
Map 7	City of Kalispell Annexations, 2019
Map 8	City of Kalispell Annexations, 2000-2019
Map 9	Vacant Lots & Parcels within the Perimeter of the City of Kalispell, December 31, 2019

Questions and comments regarding this report should be directed to:

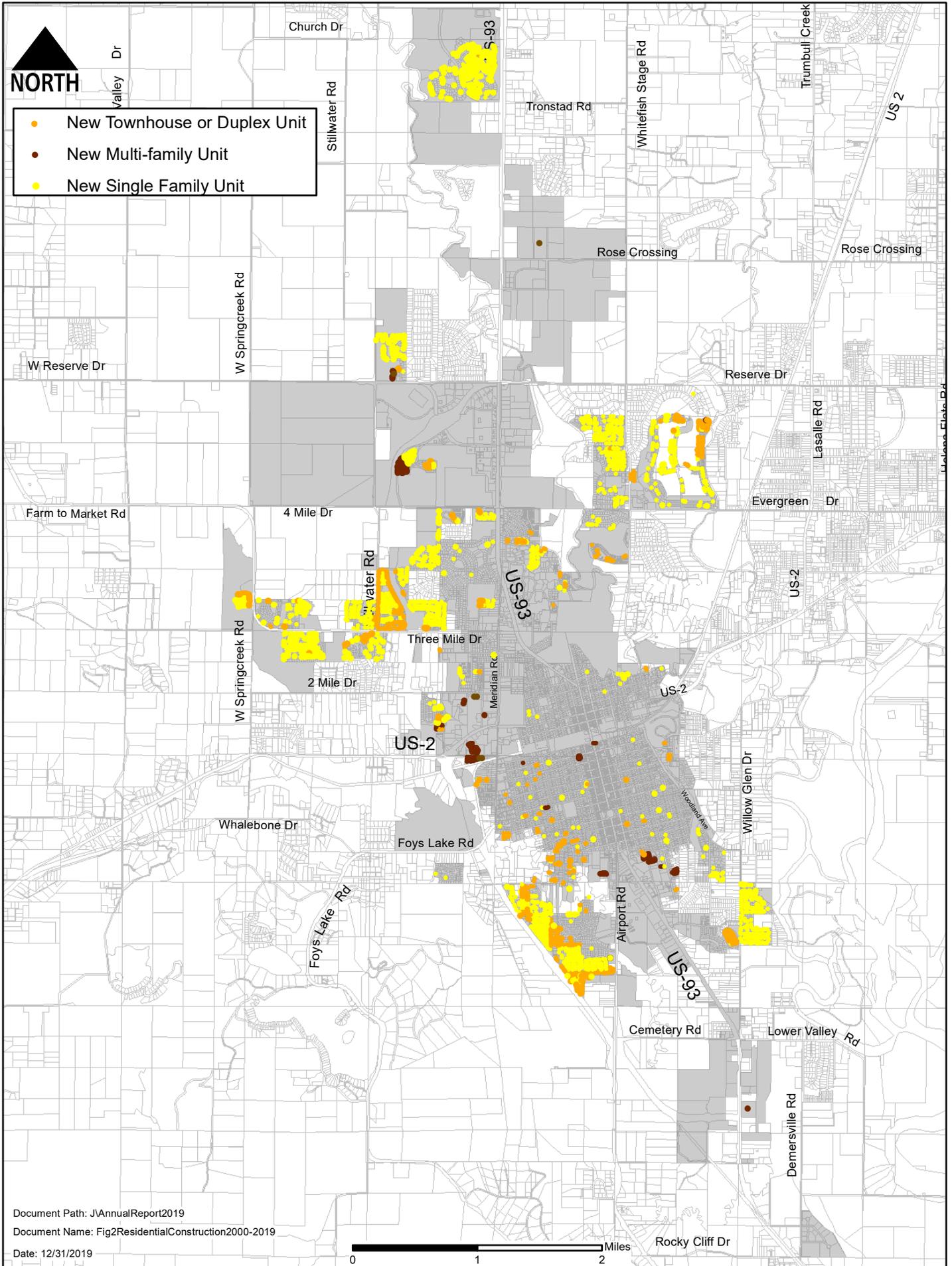
City of Kalispell  
Development Services  
201 1<sup>st</sup> Avenue East  
Kalispell, MT 59901  
Phone (406) 758-7940

A hard copy of this report is available for purchase at the City of Kalispell Planning Department or can be viewed or downloaded online at <http://www.kalispell.com/planning>.

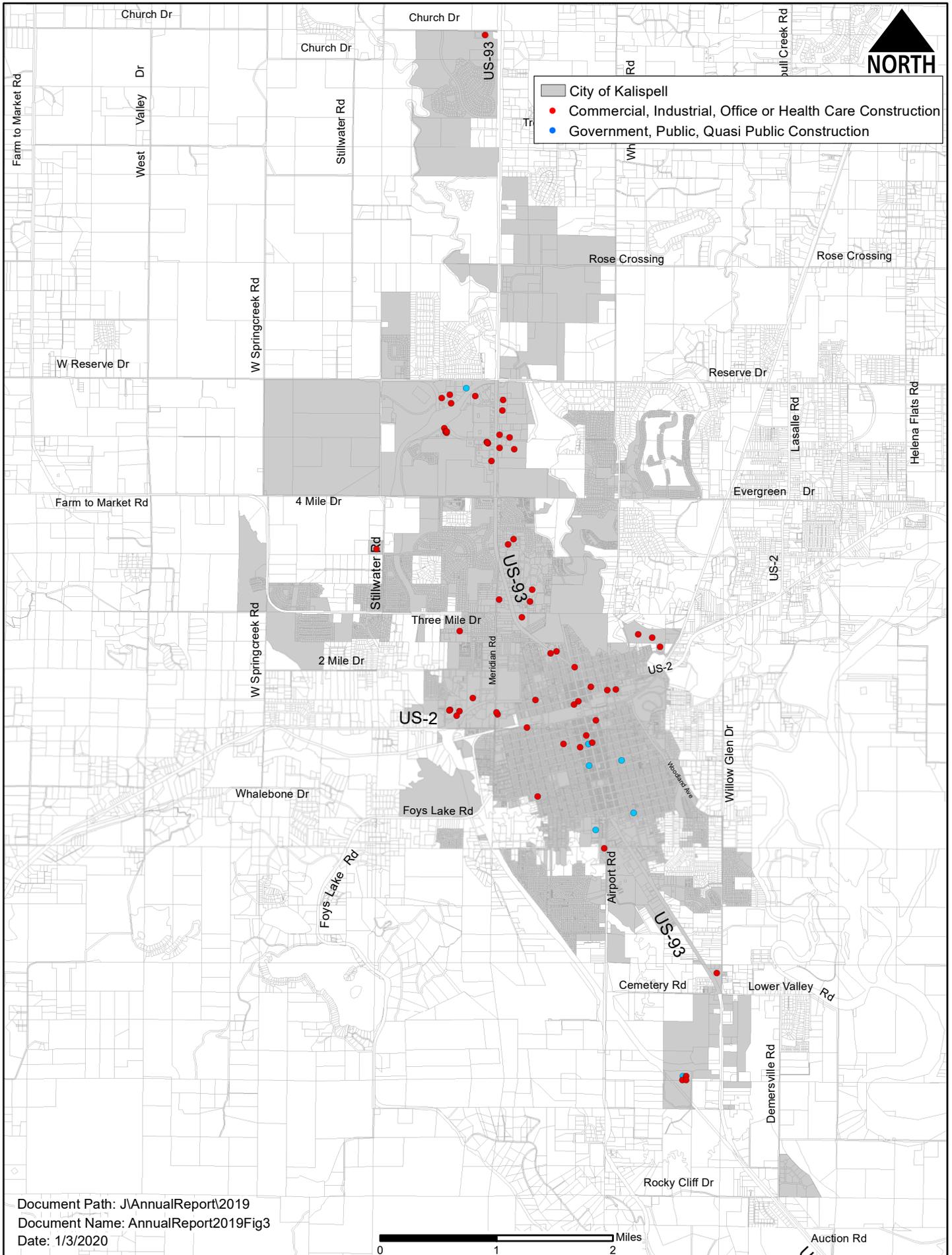
# Map 1. City of Kalispell, New Residential Construction - 2019



# Map 2. City of Kalispell, New Residential Construction - 2000 to 2019

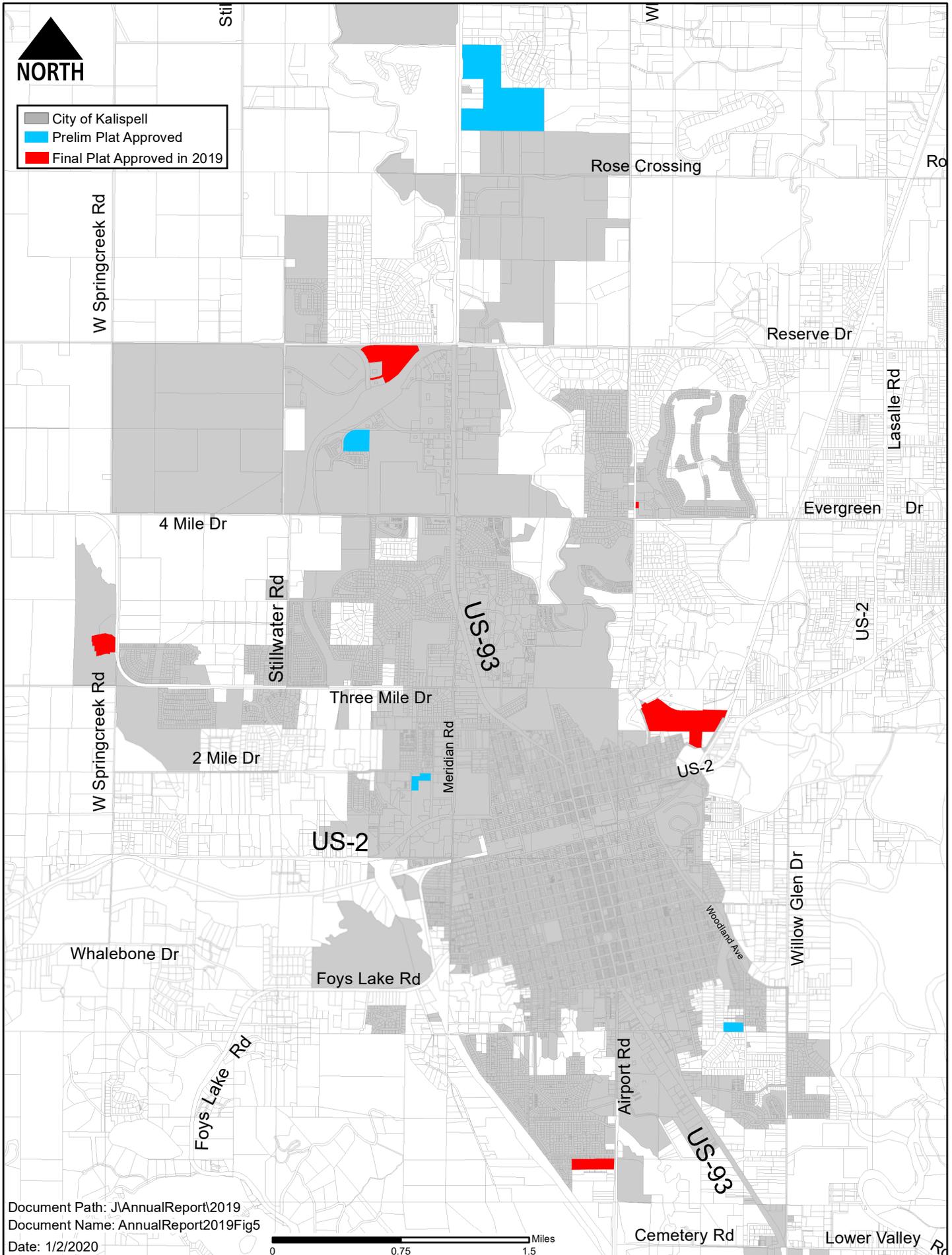


# Map 3. City of Kalispell, Non-Residential Construction 2019

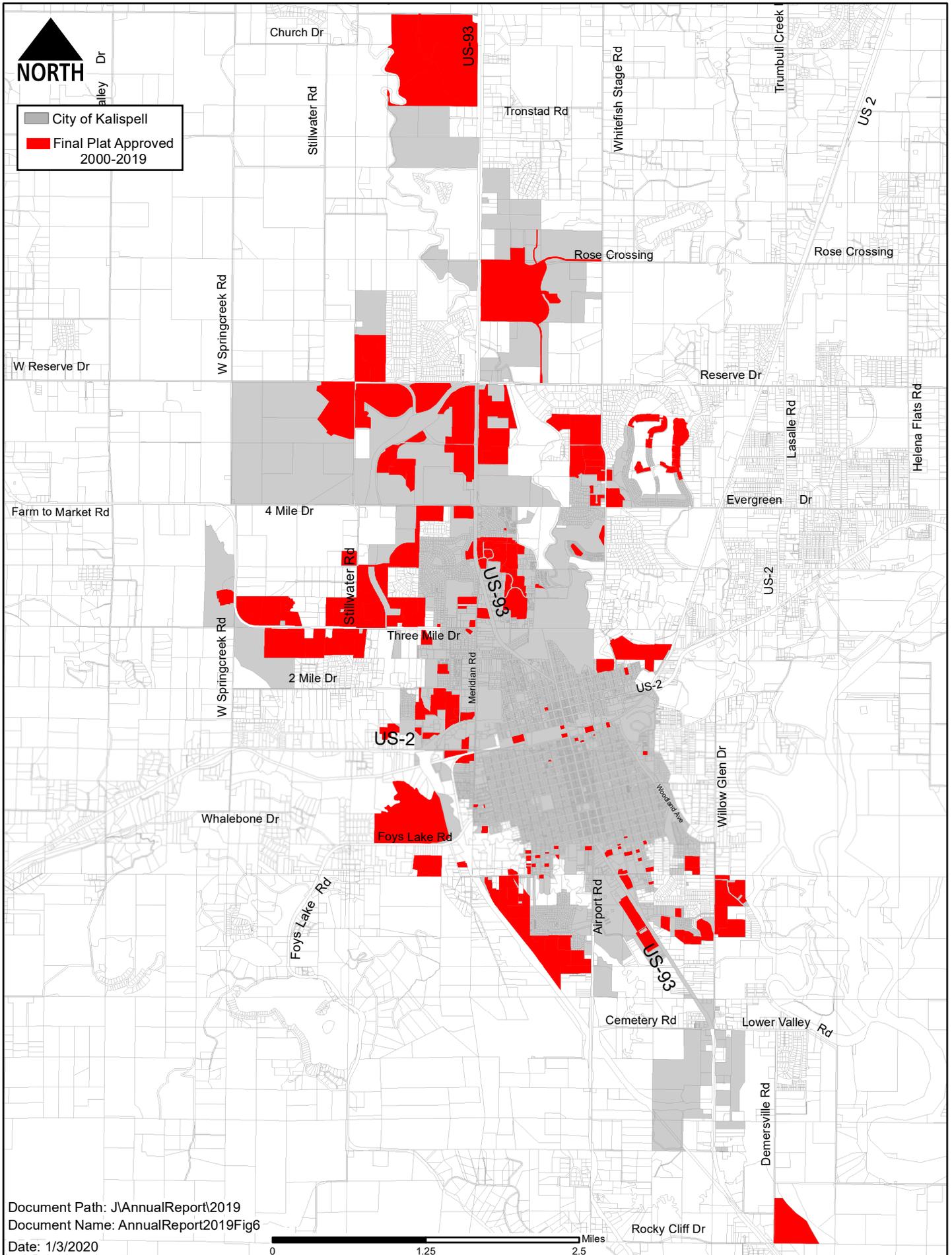




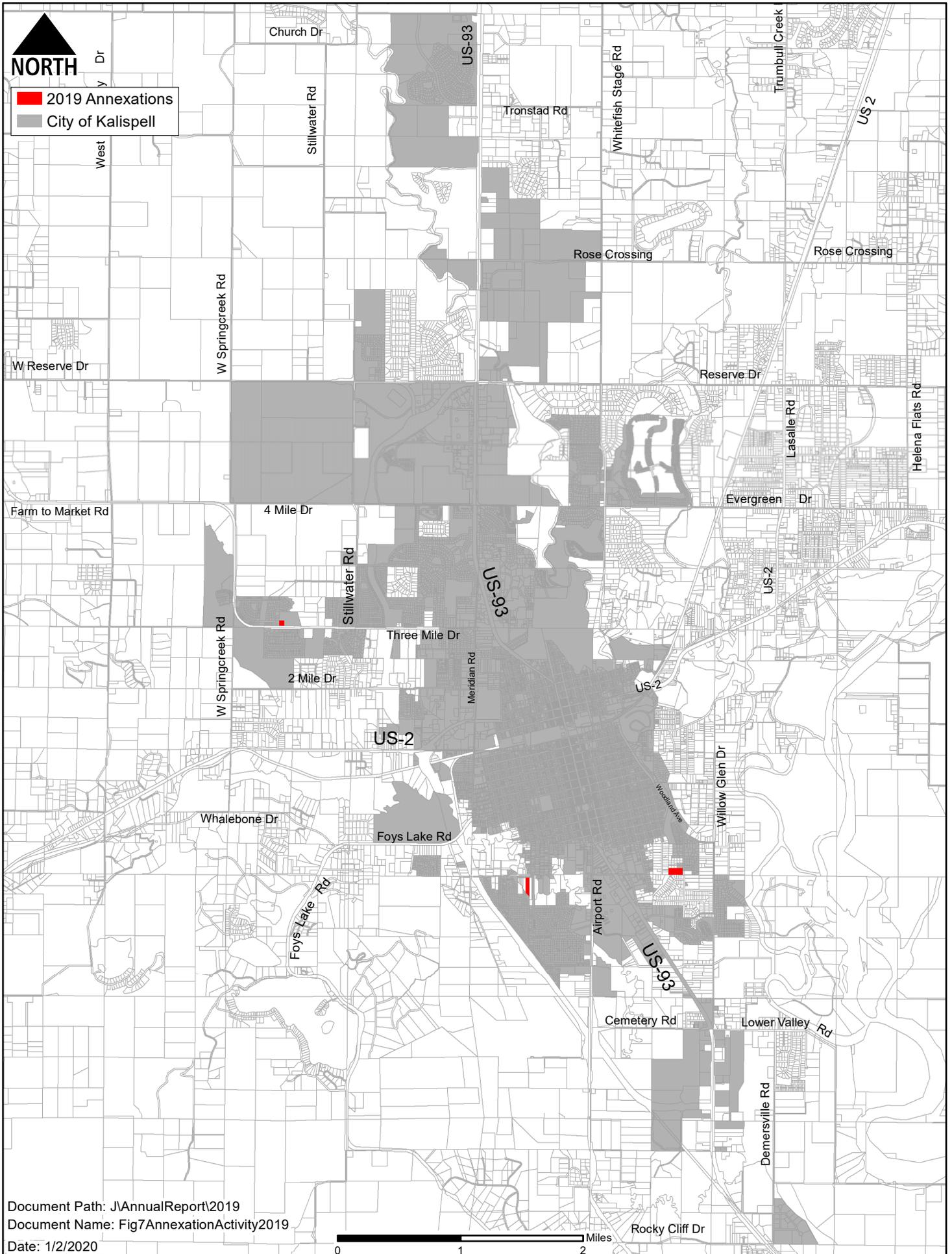
# Map 5. City of Kalispell, Subdivision Activity - 2019



# Map 6. City of Kalispell, Subdivision Activity 2000 - 2019

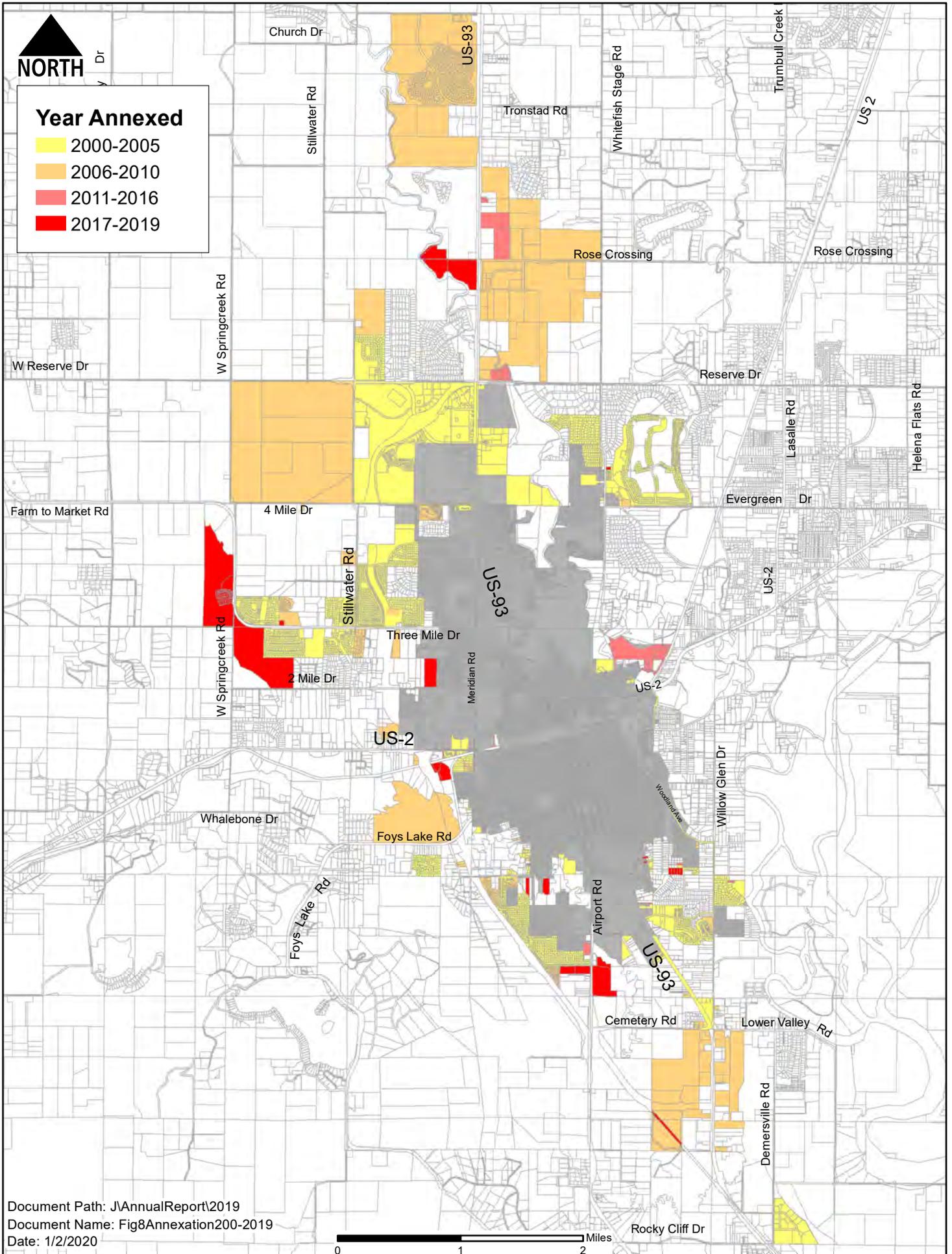


# Map 7. City of Kalispell, Annexation Activity - 2019



Document Path: J\AnnualReport\2019  
 Document Name: Fig7AnnexationActivity2019  
 Date: 1/2/2020

# Map 8. City of Kalispell, Annexation Activity, 2000 - 2019





# Planning & Building Department: 2019 Annual Report



Newly Built Aspen Apartments on Colorado Avenue

## Inside this issue:

Land Use Permits	2
Population/Annexation	3
Subdivision Activity	3
Building Permit Activity	4

## Special points of interest:

- 25 acres annexed
- 52 lots preliminary platted
- 233 lots final platted
- 24 conditional use permits
- 63 architectural reviews
- 8 variances
- 35 lakeshore permits
- 45 sign permits
- 158 code violations resolved
- 95 new single family home building permits
- 246 total new dwelling units
- 8 new commercial building permits
- \$46 million in construction-related community investment

## Planning for Sustainable Growth and Affordable Housing

**2020 has arrived**, a fresh decade has begun. Whitefish is a special place, and people are visiting and moving here in droves. They are also building here. The last ten years showed a continual upward trend in growth in the City of Whitefish as we inched back to pre-recession numbers.

2019 was a decade high for new residential construction, with a total of 246 new dwelling units permitted, the most since 292 in 2005. That contributed over forty million dollars in community investment. A total of eight new commercial buildings were permitted. Those, along with commercial additions and remodels, totaled 5.5 million dollars in estimated project costs. Total building permits were the highest of the decade in 2019, almost 200 more than the previous high in 2018.

Land use permitting, including subdivisions, conditional use permits, and other types of planning applications continued to be busy in 2019. Eleven new subdivisions were preliminarily approved with 52 new lots. 15 subdivisions went to final plat, creating 233 new lots, the most in the decade. We also permitted 41 legal short term rental units in the City. Other permit numbers were similar to last year, with the biggest jump being the number of architectural review applications, which nearly doubled the previous decade high.

City planning staff worked on several important long range planning projects. We made headway on the Highway 93 South Corridor Plan, which will be completed in the Spring of 2020. We implemented a major component of our Strategic Housing Plan by adopting mandatory inclusionary zoning, which requires 20% of new units for multi-family and subdivisions to be deed restricted for moderate income households through the Whitefish Housing Authority.

We expect our robust growth to continue in 2020, perhaps slowing down a bit from 2019 numbers. Here's to a new year with fresh challenges and opportunities!

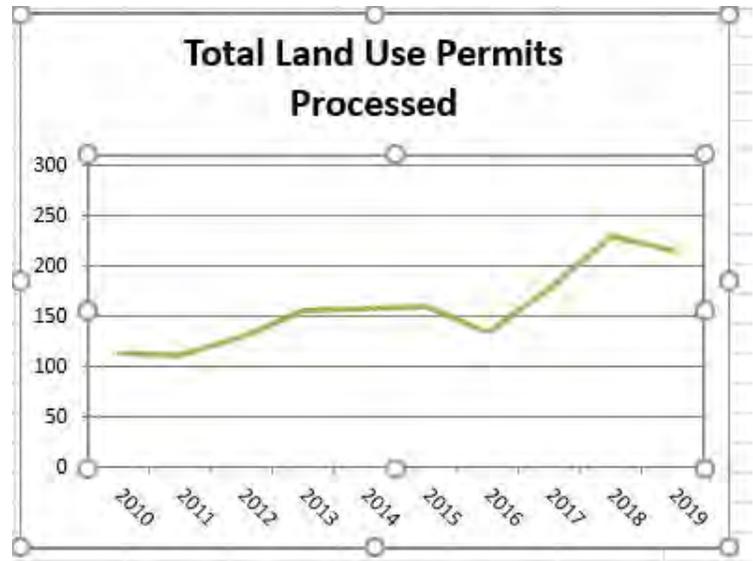
All the best,

*David Taylor, AICP, Director of Planning and Building*

## 2019 Land Use Permit Activity

Total land use permit activity in 2019 was the highest in the decade with the exception of 2018, a year whose numbers were skewed by a large volume of short term rental permits processed. The Planning Department administered a total of 214 permits in 2019, 41 of which were for short term rentals. This is compared to 103 short term rental permits in 2018 and 25 in 2017.

The department also processed 25 sign permits and 20 temporary sign permits, which is considerably less than previous years in the decade.

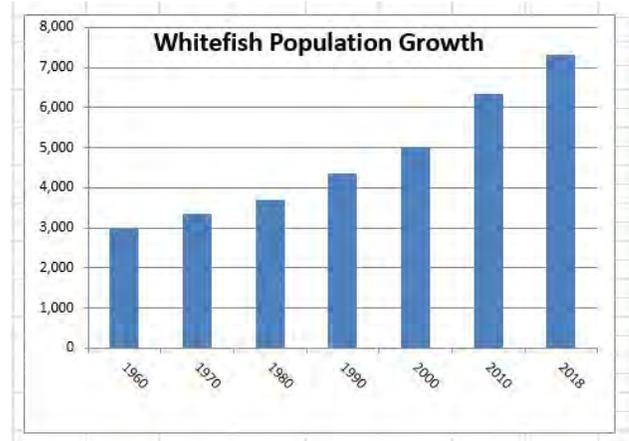


## Land Use Permits: 2010-2019

	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
Preliminary Plat Applications	4	1	1	6	5	12	7	8	12	11
Final Plat Applications	4	1	1	5	5	6	4	9	0	15
Conditional Use Permit	5	9	13	15	11	20	9	15	14	24
Planned Unit Development	2	1	3	3	4	0	2	3	9	0
Architectural Review	20	14	22	21	31	38	29	26	31	63
Zone Change	0	4	0	6	9	5	10	24	10	5
Variance	5	8	4	7	2	4	2	8	4	8
Water Quality Permits	10	8	11	11	3	1	2	1	0	0
New Food Vendor Permit	1	1	3	2	2	3	2	6	5	4
Temporary Use Permit	1	5	7	5	3	2	1	0	1	1
Short-Term Rental Permit				1	5	3	15	25	103	41
Floodplain Permit	1	1	5	4	1	2	2	0	1	3
Lakeshore Permit	35	28	40	40	41	38	26	36	17	35
Subdivision Exemption	21	20	13	25	29	17	19	13	17	32
Zoning Text Amendment	4	7	5	2	5	4	2	2	4	7
Subdivision Text Amendment	1	1	1	1	1	1	0	0	0	0
Growth Policy Amendment	0	2	0	2	1	2	1	1	1	0
<b>Total Land Use Permits Processed</b>	<b>114</b>	<b>112</b>	<b>129</b>	<b>156</b>	<b>158</b>	<b>159</b>	<b>133</b>	<b>177</b>	<b>229</b>	<b>214</b>

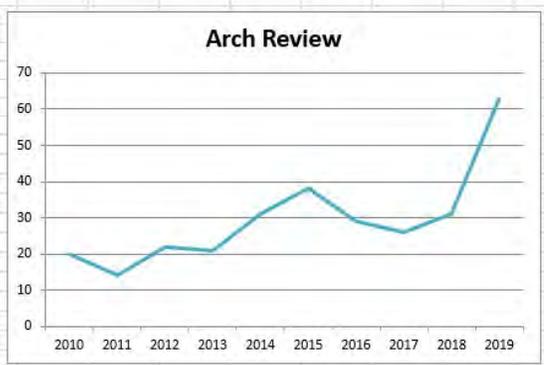
## Population Growth

According to the US Census Bureau estimate for Whitefish, the population was 7,309. This is a 15% increase in population from April 1, 2010. Flathead County grew by about 12% and the State of Montana grew by approximately 7.4% since the 2010 census.



	1960	1970	1980	1990	2000	2010	2018
<b>Whitefish</b>	2,965	3,349	3,703	4,368	5,032	6,357	7,309
<b>Flathead County</b>	32,965	39,460	51,966	59,218	74,471	90,928	102,106
<b>Montana</b>	674,767	694,407	786,690	799,065	902,195	989,415	1,062,305

## Architectural Review 2010-2019



## Subdivision Activity: 2010-2019

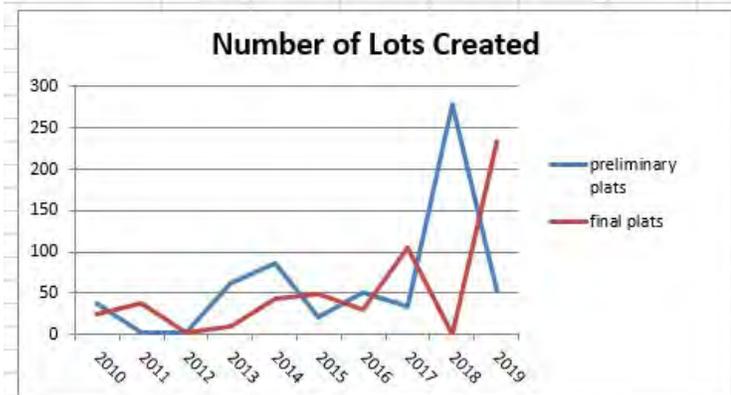
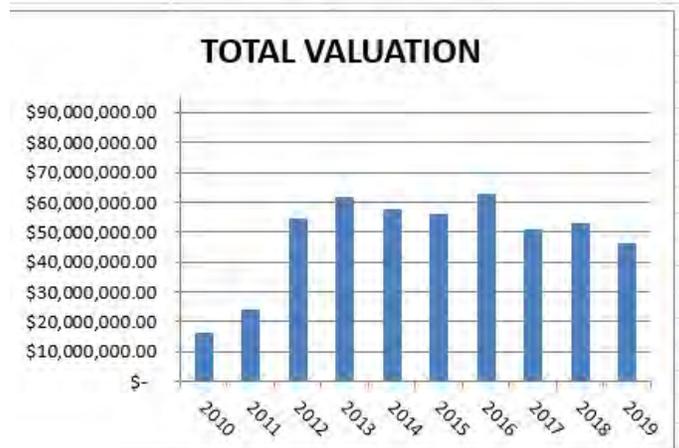
The city reviewed 11 preliminary plat applications for a total of 52 new lots. This is considerably less than 2018's 278 new lots. The City also approved 15 final plat applications for 233 new lots in 2019, which is by far the most in the decade.

## Annexations: 2010-2019

The City of Whitefish expanded its boundaries by 24.9 acres in 2019. Over the past decade, the city has expanded its boundaries by approximately 334 acres.

<b>2010</b>	3.52
<b>2011</b>	4.65
<b>2012</b>	28.83
<b>2013</b>	2.02
<b>2014</b>	53.93
<b>2015</b>	16.7
<b>2016</b>	26.44
<b>2017</b>	141.38
<b>2018</b>	31.1
<b>2019</b>	24.9

## Construction Permit Valuation 2010-2019



## City of Whitefish

Planning & Building Department  
418 E 2nd Street  
PO Box 158  
Whitefish, MT 59937

Phone: 406-863-2410  
Fax: 406-863-2409

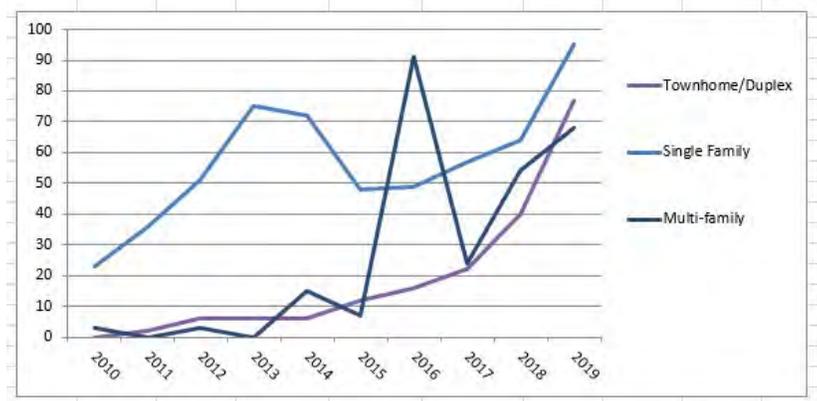


New Muldown Elementary School Project Under Construction

## Building Permit Activity

The total number of new residential construction units in 2019 was the most in the decade, nearing the high in 2005 of 292. The increase encompassed single family, townhome/duplexes and multi-family alike. Commercial permit activity was about the same as 2018, with a few more projects but less valuation. Total building permits last year were a decade high by a considerable amount.

## Residential Permit Types



	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
Single Family Residential	23	36	51	75	72	48	49	57	64	95
remodel - SFR	61	66	75	68	65	55	39	57	38	47
addition - SFR	16	17	25	14	27	31	42	44	36	22
Townhouse/Duplex	0	2	6	6	6	12	16	22	40	77
remodel - TH/DU	0	0	0	2	2	1	0	0	0	0
addition - TH/DU	0	0	0	0	0	0	0	1	0	0
Multifamily (units)	3	0	3	0	15	7	91	24	54	68
remodel - MF	0	0	1	3	7	0	0	5	1	0
addition - MF	0	0	0	0	1	0	1	1	1	0
<b>TOTAL RESIDENTIAL UNITS</b>	<b>26</b>	<b>38</b>	<b>60</b>	<b>81</b>	<b>93</b>	<b>67</b>	<b>156</b>	<b>103</b>	<b>158</b>	<b>246</b>
Commercial	1	3	2	5	2	4	11	5	5	8
remodel - com	36	30	22	40	28	22	35	30	28	29
addition - com	4	2	0	8	8	7	11	6	9	5
<b>TOTAL COMMERCIAL</b>	<b>41</b>	<b>35</b>	<b>24</b>	<b>53</b>	<b>38</b>	<b>33</b>	<b>57</b>	<b>41</b>	<b>42</b>	<b>42</b>
Electrical permits	137	156	159	176	184	170	208	181	208	231
Mechanical permits	77	107	97	134	157	144	135	141	151	212
Plumbing permits	79	95	95	148	152	139	147	133	203	230
<b>TOTAL PERMITS</b>	<b>360</b>	<b>431</b>	<b>435</b>	<b>592</b>	<b>624</b>	<b>553</b>	<b>703</b>	<b>599</b>	<b>762</b>	<b>961</b>



## CITY COUNCIL REGULAR MEETING AGENDA

The following is a summary of the items to come before the City Council at its regular session to be held on Monday, October 19, 2020, at **7:10 p.m. Remotely via WebEx**

The City Council Approved Emergency Ordinance No. 20-14 to provide for remote meetings of the City Council, City Boards and Committees to protect the health and wellbeing of all attendees, practice social distancing and to continue to have public meetings to serve the community during the Covid-19 pandemic.

To register to attend the meeting, and provide live comment via WebEx on your computer, tablet or smartphone, residents and other attendees should go to the following web address and register. **NOTE: Attendees cameras will be turned off and automatically muted.**

<https://cityofwhitefish.webex.com/cityofwhitefish/onstage/g.php?MTID=e5616e0cb389003b5a194e5a3ed42a3e9>

**Event Number** : 146 268 8020

- Once registered, you will receive a calendar invite; in most cases it will automatically be added to your email calendar. The calendar invite contains the information to join the meeting via WebEx on your smartphone or computer. Attendees will not be able to join the meeting until approximately 5 minutes prior to the meeting time. OR
- **For the Audio Conference Call option:** call the number below and enter the access code.
  - United States Toll: **+1-408-418-9388**
  - United States Toll Free: (From a land line phone) **+1-844-992-4726**
  - **Access code:** 146 268 8020
- **For the Audio Conference Call Back option:** register your phone number to receive a WebEx system call back when the meeting is set to begin, you will need to provide your phone number when you join the event, or call the number below and enter the access code.
  - United States Toll call-in number : **+1-408-418-9388**
  - United States Toll Free: (From a land line phone) **+1-844-992-4726**
  - **Access code:** 146 268 8020
- We encourage individuals to provide written public comment; to the City Clerk, Michelle Howke at [mhowke@cityofwhitefish.org](mailto:mhowke@cityofwhitefish.org). or deliver by **4:00 p.m.** October 19th, at City Hall in the Utility Drop Box. Written comments should include name, address, support or oppose, should be short and concise, courteous, and polite. All written comments received by **4:00 p.m.** will be provided to the City Council and will be appended to the packet following the meeting. At the end of "live" comment, the City Clerk will read the name and address of each individual providing written comments and state whether they support or oppose the proposal/application before the City Council.
- Public comment by those attending the meeting "live" via WebEx will be limited to three minutes per individual.

Ordinance numbers start with 20-15. Resolution numbers start with 20-39.

- 1) CALL TO ORDER
- 2) PLEDGE OF ALLEGIANCE
- 3) COMMUNICATIONS FROM THE PUBLIC — (This time is set aside for the public to comment on items that are either on the agenda, but not a public hearing or on items not on the agenda. City officials do not respond during these comments but may respond or follow-

up later on the agenda or at another time. The Mayor has the option of limiting such communications to three minutes depending on the number of citizens who want to comment and the length of the meeting agenda)

- 4) COMMUNICATIONS FROM VOLUNTEER BOARDS
- 5) CONSENT AGENDA
  - a) [Minutes](#) from October 5, 2020 Regular Session (p.91)
  - b) [Ordinance No. 20-13](#); An Ordinance amending Title 11 – Zoning Regulations, Chapter 3 – Special Provisions, Section 42 – Multi-Family Development Standards, and Section 43 – Mixed-Use and Non-Residential Building Development Standards, of the Whitefish City Code (WZTA 20-03) (Second Reading) (p.98)
- 6) PUBLIC HEARINGS (Items will be considered for action after public hearings) (Resolution No. 07-33 establishes a 30-minute time limit for applicant’s land use presentations. Ordinances require 4 votes for passage – Section 1-6-2 (E)(3) WCC)
  - a) [Ordinance No. 20-\\_\\_](#) ; An Ordinance amending the Architectural Review Standards (First Reading) (p.119)
- 7) COMMUNICATIONS FROM CITY MANAGER
  - a) [Written report](#) enclosed with the packet. Questions from Mayor or Council? (p.268)
  - b) Other items arising between October 14th through October 19th
- 8) COMMUNICATIONS FROM MAYOR AND CITY COUNCILORS
  - a) Consideration of appointments to volunteer boards and committees not made during the Special Session preceding tonight’s meeting
- 9) ADJOURNMENT (Resolution 08-10 establishes 11:00 p.m. as end of meeting unless extended to 11:30 by majority)



The following Principles for Civil Dialogue are adopted on 2/20/2007 for use by the City Council and by all boards, committees and personnel of the City of Whitefish:

- We provide a safe environment where individual perspectives are respected, heard, and acknowledged.
- We are responsible for respectful and courteous dialogue and participation.
- We respect diverse opinions as a means to find solutions based on common ground.
- We encourage and value broad community participation.
- We encourage creative approaches to engage public participation.
- We value informed decision-making and take personal responsibility to educate and be educated.
- We believe that respectful public dialogue fosters healthy community relationships, understanding, and problem-solving.
- We acknowledge, consider and respect the natural tensions created by collaboration, change and transition.
- We follow the rules and guidelines established for each meeting.

Adopted by Resolution 07-09  
February 20, 2007

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October 14, 2020

The Honorable Mayor Muhlfeld and City Councilors  
City of Whitefish  
Whitefish, Montana



Mayor Muhlfeld and City Councilors:

### **Monday, October 19, 2020 City Council Agenda**

There will be a remote Special Session starting at 5:00 to interview interested applicants to serve on the Whitefish Planning Board and the Whitefish Lake and Lakeshore Protection Committee. At 5:30 staff will review the Annual Affordable Housing Report and review recommended changes to the Legacy Home Program.

The regular Council meeting will begin at 7:10 p.m. via Webex.

#### **CONSENT AGENDA**

- a) [Minutes](#) from October 5, 2020 Regular Session (p.91)
- b) [Ordinance No. 20-13](#); An Ordinance amending Title 11 – Zoning Regulations, Chapter 3 – Special Provisions, Section 42 – Multi-Family Development Standards, and Section 43 – Mixed-Use and Non-Residential Building Development Standards, of the Whitefish City Code (WZTA 20-03) (Second Reading) (p.98)

**RECOMMENDATION:** Staff respectfully recommends the City Council approve the Consent Agenda.

**Item ‘a’ is an administrative matter; Item ‘b’ is a legislative matter.**

**PUBLIC HEARINGS** (Items will be considered for action after public hearings) (Resolution No. 07-33 establishes a 30-minute time limit for applicant’s land use presentations. Ordinances require 4 votes for passage – Section 1-6-2 (E)(3) WCC))

- a) [Ordinance No. 20-\\_\\_\\_](#); An Ordinance amending the Architectural Review Standards (First Reading) (p.119)

From Planner II Wendy Compton-Ring’s transmittal report.

**Summary of Requested Action:** This is a request by the City of Whitefish to update the Architectural Review Standards.

**Planning & Building Department Recommendation:** Staff recommended approval of the text amendments.

**Public Hearing:** At the public hearing, two members of the Architectural Review Committee answered Board questions and no one else addressed the Board. The draft minutes for this item are attached as part of this packet.

**Planning Board Action:** The Whitefish Planning Board met on September 17, 2020 and considered the request. Following the hearing, the Planning Board unanimously approved the

request. In making their decision, the Planning Board adopted staff report WZTA 20-04 with Findings of Fact and Exhibit 1A as presented to the Board.

**RECOMMENDATION:** Staff respectfully recommends the City Council, after considering testimony at the Public Hearing and the recommendation from Planning Staff and the Planning Board, adopt Ordinance No. 20-\_\_ ; An Ordinance amending the Architectural Review Standards (First Reading).

**This item is a legislative matter.**

COMMUNICATIONS FROM CITY MANAGER

- a) [Written report](#) enclosed with the packet. Questions from Mayor or Council? (p.268)
- b) Other items arising between October 14th through October 19th

COMMUNICATIONS FROM MAYOR AND CITY COUNCILORS

- a) Consideration of appointments to volunteer boards and committees not made during the Special Session preceding tonight's meeting

ADJOURNMENT

Sincerely,



Dana Smith  
City Manager, CPA

**Table 1: Common Motions Used in a Meeting.<sup>1</sup>**

	<b>Wording</b>	<b>Interrupt another speaker</b>	<b>Requires a second</b>	<b>Debatable</b>	<b>Amendable</b>	<b>Vote Required</b>	<b>Reconsider</b>
<b>Privileged Motions</b>							
Fix time for next meeting (12)	"I move that we meet next at..."	No	Yes	No	Yes	Majority	Yes
Adjourn	"I move that we adjourn"	No	Yes	No	No	Majority	No
Take a recess (12)	"I move that we recess. . ."	No	Yes	No	Yes	Majority	No
Raise a question of privilege	"I rise to a question of privilege affecting the assembly"	Yes	No	No	No	(1)	No
Call for the orders of the day	"I call for the orders of the day"	Yes	No	No	No	(1) (15)*	No
<b>Subsidiary Motions</b>							
Lay on the table	"I move to lay the question on the table" or "I move that the motion be laid on the table"	No	Yes	No	No	Majority	(3)*
Previous question (to close debate)	"I move the previous question" or "I move we vote immediately on the motion"	No	Yes	No	No	2/3 of assembly	Yes
Limit-extend debate (12)	"I move the debate be limited to. . ." or "I move that the speaker's time be extended by. . ."	No	Yes	No	Yes	2/3 of assembly	Yes
Postpone to a definite time (12)	"I move that the question be postponed until. . ."	No	Yes	Yes	Yes	Majority	Yes
Refer to a committee (12)	"I move to refer the matter to the . . . committee"	No	Yes	Yes	Yes	Majority	Yes
Amendment to the main motion (12)	"I move to amend by adding/striking the words. . ."	No	Yes	(5)	Yes	Majority	Yes
Postpone indefinitely (12)	"I move that the motion be postponed"	No	Yes	Yes (16)	No	Majority	(4)
<b>Main Motions</b>							
Main Motion	"I move that we..."	No	Yes	Yes	Yes	Majority	Yes
<b>Incidental Motions (11)</b>							
Suspension of rules	"I move to suspend the rules so that. . ."	No	Yes	No	No	(9)*	No
Request to withdraw a motion (13)	"I move that I be allowed to withdraw the motion"	*	*	No	No	Majority*	(3)
Objection to the consideration of a question (10)	"I object to the consideration of the question"	Yes	No	No	No	2/3 of assembly (17)	(3)
Point of order	"I rise to a point of order" or "Point of order!"	Yes	No	No	No	(1)*	No
Parliamentary inquiry	"I rise to a parliamentary inquiry" or "A parliamentary inquiry, please"	Yes	No	No	No	(1)	No
Appeal to the chairperson	"I appeal from the decision of the chair"	Yes	Yes	Yes*	No	(7)	Yes

	Wording	Interrupt another speaker	Requires a second	Debatable	Amendable	Vote Required	Reconsider
Point of information	"I rise to a point of information" or "A point of information, please"	Yes	No	No	No	(1)	No
Division of assembly	"Division!" or "I call for a division"	Yes	No	No	No	(14)	No
Division of a question	"I move to divide the motion so that the question of purchasing ... can be considered separately."	No	Yes	No	Yes	Majority	No
<b>Renewal Motions (8)</b>							
Reconsider* (2)	"I move to reconsider the vote on the motion relating to. . ."	No*	Yes	(5) (16)	No	Majority	No
Take from table	"I move to take from the table the motion relating to. . ."	No	Yes	No	No	Majority	No
Rescind	"I move to rescind the motion passed at the last meeting relating to. . ."	No	Yes	Yes (16)	Yes	(6)	(3)
Discharge a committee	"I move that the committee considering . . . be discharged."	No	Yes	Yes (16)*	Yes	(6)	(3)

<sup>1</sup> Source: Robert, H. 2000. *Robert's Rules of Order* (Newly Revised, 10th Edition) New York: Perseus Books Group; Sturgis, A. 2000. *The Standard Code of Parliamentary Procedure* (4th Edition). New York: McGraw-Hill.

**\* Refer to Robert's Rules of Order Newly Revised**

- (1) The chair decides. Normally no vote is taken.
- (2) Only made by a member who voted on the prevailing side and is subject to times limits.
- (3) Only the negative vote may be reconsidered.
- (4) Only the affirmative vote may be reconsidered.
- (5) Debatable when applied to a debatable motion.
- (6) Majority with notice, or 2/3 without notice or majority of entire membership.
- (7) Majority or tie vote sustains the chair.
- (8) None of these motions (except Reconsider) are in order when business is pending.
- (9) Rules of order, 2/3 vote—Standing rules, majority vote.
- (10) Must be proposed before debate has begun or a subsidiary motion is stated by the chair (applied to original main motions).
- (11) The Incidental Motions have no precedence (rank). They are in order when the need arises.
- (12) A Main Motion if made when no business is pending.
- (13) The maker of a motion may withdraw it without permission of the assembly before the motion is stated by the chair.
- (14) The chair can complete a Division of the Assembly (standing vote) without permission of the assembly and any member can demand it.
- (15) Upon a call by a single member, the Orders of the Day must be enforced.
- (16) Has full debate. May go into the merits of the question which is the subject of the proposed action.
- (17) A 2/3 vote in negative needed to prevent consideration of main motion.

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**WHITEFISH CITY COUNCIL**

**October 5, 2020**

**7:10 P.M.**

**1) CALL TO ORDER**

The City Council approved Emergency Ordinance No. 20-14 to provide for remote meeting of the City Council, City Boards and Committees to protect the health and wellbeing of all attendees, practice social distancing and to continue to have public meetings to serve the community during the COVID-19 pandemic. Mayor Muhlfeld called the meeting to order. Councilors present were Qunell, Feury, Hennen, Hartman, Sweeney, and Norton. City Staff present were, City Clerk Howke, City Manager Smith, City Attorney Jacobs, Finance Director Dahlman, Planning and Building Director Taylor, Public Works Director Workman, Parks and Recreation Director Butts and Planner II Compton-Ring. Approximately 19 people were in attendance.

**2) PLEDGE OF ALLEGIANCE**

Mayor Muhlfeld asked City Clerk Howke to lead the audience in the Pledge of Allegiance.

**3) COMMUNICATIONS FROM THE PUBLIC – (This time is set aside for the public to comment on items that are either on the agenda, but not a public hearing or on items not on the agenda. City officials do not respond during these comments but may respond or follow-up later on the agenda or at another time. The Mayor has the option of limiting such communications to three minutes depending on the number of citizens who want to comment and the length of the meeting agenda)**

Robin Paone, 1057 Creekview Court, thank you Mayor Muhlfeld, City Council and staff for the exceptional work you do to serve the people of our city. She asks for the Council’s consideration in creating a resolution to support the Energy Innovation and Carbon Dividend Act, a bill which has been introduced to congress. The Energy Innovation and Clean Dividend Act will reduce America’s emissions by at least 40% within 12 years. This policy will create 2.1 million additional jobs over the next 10 years, thanks to the growth and clean energy economy. This policy will also improve health and save lives by reducing pollution. Additionally, the carbon dividend puts money directly into people’s pockets every month to spend as they see fit, helping low- and middle-income Americans. The government does not keep any of the fees collected so the size of government will not grow. The City of Whitefish Climate Action Plan calls for the transition to a clean energy economy. Endorsing the Energy Innovation Act supports this plan. Supporting this legislation sends a strong message to our members of congress to act on their concern. The Energy Innovation and Carbon Dividend Act is a simple yet fair and effective bipartisan solution which continues our American tradition of ensuring a wonderful future for our children. Please support a city resolution endorsing this bill.

Melissa Hartman, 436 Park Avenue, seconded Robin’s comments of appreciation. The Energy Innovation and Carbon Dividend Act is vital. Protecting our climate is vital. We are known for our great outdoors, skiing, fishing, etc. So many depend on our climate. Bad fire seasons impact businesses and tourism and have the potential to have severe impacts on our economy. Supporting the Energy Innovation and Carbon Dividend Act is important.

Richard Hildner, 104 5<sup>th</sup> Street East, stated it is important the city weigh in as one more voice to support the Energy Innovation and Carbon Dividend Act in order to protect the environment.

Patrice LaTourelle, Lupfer Avenue, provided written comment that is appended to the October 5<sup>th</sup> packet on the website. City Clerk Howke read the letter into the record. Patrice is concerned with the traffic problem on Lupfer Avenue between Second Street to 4<sup>th</sup> Street and to Baker Avenue. She provided a diagram to show parking and traffic flow and indicated what would solve this problem.

**4) COMMUNICATIONS FROM VOLUNTEER BOARDS**

- a) [Resolution No. 20-37](#); A Resolution extending the Highway 93 South Corridor Steering Committee (p.14)

Councilor Feury made a motion, seconded by Councilor Hennen to approve [Resolution No. 20-37](#); A Resolution extending the Highway 93 South Corridor Steering Committee. The motion carried.

**5) CONSENT AGENDA**

- a) [Minutes](#) from September 21, 2020 Regular Session (p.18)  
b) [Resolution No. 20-38](#); A Resolution extending the Sustainable Tourism Management Plan Steering Committee (p.24)

Councilor Sweeney made a motion, seconded by Councilor Norton to approve the Consent Agenda as presented. The motion carried.

**6) PUBLIC HEARINGS** (Items will be considered for action after public hearings) (Resolution No. 07-33 establishes a 30-minute time limit for applicant's land use presentations. Ordinances require 4 votes for passage – Section 1-6-2 (E)(3) WCC)

- a) [Ordinance No. 20-13](#); An Ordinance amending Title 11 – Zoning Regulations, Chapter 3 – Special Provisions, Section 42 – Multi-Family Development Standards, and Section 43 – Mixed-Use and Non-Residential Building Development Standards, of the Whitefish City Code (WZTA 20-03) (First Reading) TABLED FROM SEPTEMBER 8, 2020 (Public Hearing Closed) (p.27)

Director Taylor reviewed his staff report that is provided in the packet on the website. This Public Hearing was tabled for discussion and decision from September 8, 2020, with the Public Hearing portion closed.

Councilor Davis asked and Director Taylor the language in the code says buildings must be oriented towards the street and public paths. Site Review and Architectural Standards have similar language for any non-residential or mixed-use building.

Councilor Norton asked Director Taylor sated different zoning districts have landscaping requirements. This is city-wide in any place where mixed-use or non-residential buildings are permitted. The landscaping chapter as well as each of the zoning district have certain landscaping requirements and buffering.

Discussion followed between Councilor Feury and Director Taylor resulting in the following motion:

**Councilor Feury made a motion seconded by Councilor Qunell to approve [Ordinance No. 20-13](#); An Ordinance amending Title 11 – Zoning Regulations, Chapter 3 – Special Provisions, Section 42 – Multi-Family Development Standards, and Section 43 – Mixed-Use and Non-Residential Building Development Standards, of the Whitefish City Code (WZTA 20-03) on a first reading, changing:**

11-3-43 B Building Orientation and Multi-Building Sites:

1. Orientation. Buildings must be oriented towards the primary street frontage and public paths and/or sidewalks. Buildings on corner lots should be oriented towards the primary intersection.

~~a. — Where properties front one or more streets, new buildings must be located no more than twenty-five (25) feet from the primary street frontage. Buildings may be located further away from the primary street when separated from the street by existing healthy and mature trees being retained in perpetuity. In those cases, buildings should be placed as close to the trees as practical and a plan must be submitted to maintain the health of the trees along with a replacement plan for dead, dying, or hazardous trees.~~

~~(1) — Exception: The maximum front yard setback does not apply where a landscaped greenbelt is proposed or required. In those cases, buildings must be placed as close to the greenbelt as practical.~~

~~(2) — Exception: Buildings may be located further away from the primary street when separated from the street by courtyards, outdoor seating areas, or areas of extensive landscaping. In those cases, buildings must be placed as close to those areas as practical.~~

~~(3) — Exception: Buildings may be located further away from the primary street when separated from the street by existing healthy and mature trees being retained in perpetuity. In those cases, buildings should be placed as close to the trees as practical and a plan must be submitted to maintain the health of the trees along with a replacement plan for dead, dying, or hazardous trees.~~

~~(4) — Exception: Accessory and secondary buildings need not comply with the maximum setback standards where a primary building occupies the available street frontage.~~

~~(5)(1) No new vehicle access, drive throughs, or private roads are allowed in the area between the building and the street, it must be either healthy, mature trees, or landscaped or pedestrian space such as a plazas or patios with outdoor seating.~~

**The motion to approve with the amendment carried with a roll call.**

b) **Consideration of a request from Doug Hickok for a Conditional Use Permit to construct a guest house located at 1632 West Lakeshore Drive, zoned WR-1 (One-Family Residential District) (WCUP 20-14) (p.115)**

Senior Planner Compton-Ring gave her staff report that is provided in the packet on the website.

Mayor Muhlfeld opened the Public Hearing.

Mayre Flowers raised her hand to speak, due to technical difficulties she was unable to make a comment.

Richard Hildner, 104 E. 5<sup>th</sup> Street, suggested adding a condition to require bear resistant trash receptacles be provided.

There being no further public comment, Mayor Muhlfeld closed the Public Hearing and turned the matters over to the Council for consideration.

**Councilor Sweeney made a motion, seconded by Councilor Qunell to approve WCUP 20-14, the Findings of Fact in the staff report, and six conditions of approval as recommended by the Whitefish Planning Board on September 17, 2020.** Discussion followed regarding conditioning the permit to require bear resistant trash receptacles.

**Councilor Sweeney amended his motion, seconded by Councilor Qunell to add a Condition #7 the homeowner is required to provide and keep all trash in an enclosed space unless bear resistant container is provided. The motion carried with a roll call.**

**The original motion to approve WCUP 20-14 as amended carried with a roll call.**

- c) **Consideration of a request from Jake Carter for a Conditional Use Permit to construct a commercial parking lot associated with the professional office at 307 Spokane Avenue, zoned WR-4 (High Density Multi-Family Residential District) (WCUP 20-13) (p.143)**

Director Taylor gave his staff report provided in the packet on the website.

Mayor Muhlfeld opened the Public Hearing.

Jake Carter, applicant reviewed the history of the lot. The current owners of 307 Spokane purchased the building in 2015, Jake is the newest member to that group. He is a business owner and a tenant of the building. They want to do what they can and be as little of a burden as they can to the neighbors. They felt this proposal was the give and take. He can not dispute the fact there will be more alley way traffic. He does not know if it is a one-way solution. With this project they are creating some new homes and solving some parking issues in the downtown area.

Councilor Norton asked and Mr. Carter stated he has been informed there has been communication that the power pole can be moved. He also stated as soon as they were notified by the City parking in the parking was illegal, they put up signage for residential parking only. The parking is not being enforced.

Richard Hildner, 104 E 5<sup>th</sup> Street, opposes the application. This will create further creep into the neighborhood, Council should not be considering a commercial parking lot in the WR-4. The Parking Garage is a quarter of a mile away. He implores the Council to deny WCUP 20-13.

John Ellis, 630 Somers Avenue, provided a letter that is in the packet on the website. He opposes the application on bases of; Council denied similar application in 2012; and fails to comply with the Growth Policy, Regulations or Neighborhood/Community Compatibility. He opposes the application.

Mary Drew Powers, 327 Kalispell Avenue, is opposed to the application. Her concern is the traffic in the alley that would adversely impact her neighbors across from her.

Eric Mulcahy, Sands Survey, 2 Village Loop, Kalispell, stated parking is an accessory use. None of the districts in the Whitefish zoning code list parking as a permitted or conditionally permitted use. Each zoning district refers to the parking section of their code to address parking. Under WR-4 zoning designation in the parking section refers to section 11-6-3-1( c), non-residential uses in the WR-4 can have parking up to 300 feet from their property. That is the section they are relying on. They knew when this came about in 2012 there was a real issue having a parking lot fronting on Kalispell Avenue. The plan was to make the best of the situation by providing much needed parking to the downtown and also provide much needed housing. They designed their building to mimic the single-family stature as seen on Kalispell Avenue.

Sarah Canepa, 336 Kalispell Avenue, is opposed to the application. She has concerns with the traffic in the alleyway, and the precedent of a residential neighborhood.

Rhonda Fitzgerald, 412 Lupfer Avenue, opposes the application. The Growth Policy states there are neighborhoods that are zoned incorrectly. It is important we honor our historic neighborhoods.

Jake Carter, applicant, stated he and his partners want to do this project because they are allowed to, and it is what is best for the whole neighborhood.

City Clerk Howke reported 10 written comments were received, 9 comments oppose the application; Gary Aleshire (415 Kalispell Avenue), Christine Bernat (306 Kalispell Avenue), Dane and Melanie Boat (240 Columbia Avenue), John Ellis (630 Somers Avenue), Molly Elm (521 Kalispell Avenue), Ian Hasson (560 Somers Avenue), Mrs. And Mr. Jones (411 Kalispell Avenue), Kate McMahon (151 Wedgewood Lane), and Doug and Nikki Reed (520 Somers Avenue); 1 comment supports the applications; Mike Howke (323 Kalispell Avenue). All written comments are appended to the packet on the website.

There being no further public comment, Mayor Muhlfeld closed the Public Hearing and turned the matters over to the Council for their consideration.

**Councilor Qunell made a motion, seconded by Councilor Hennen to deny WCUP 20-13.** Councilor Qunell applauds the applicant for trying to find a solution that would be amenable to the neighborhood and meet their needs. He does not see this fits in the code of the zoning regulations. Councilor Norton disclosed she attended a preliminary meeting. The project is too much for Kalispell Avenue. **The motion carried by roll call.**

**Mayor Muhlfeld moved for a recess at 9:20 pm and reconvened at 9:25 pm.**

## **7) COMMUNICATIOIS FROM PARKS AND RECREATION DIRECTOR**

- a) **Consideration of appointing members to the Rating Panel and Selection Committee for the Armory Park Design RFP process (p.226)**

Director Butts gave her staff report that is provided in the packet on the website.

**Councilor Feury made a motion seconded by Councilor Hennen to appoint Director Butts, Foreman Bullemer, and Councilor Sweeney to the Rating Panel and the Selection Committee for the Armory Park Master Plan Design RFP process. The motion carried by roll call.**

**8) COMMUNICATIONS FROM CITY MANAGER**

a) [Written report](#) enclosed with the packet. Questions from Mayor or Council? (p.230)

None

**b) Other items arising between September 30th through October 5th**

City Manager Smith reported the American Flag was replaced this last weekend. The 2020 General Election will be all mail ballots. The ballots will be mailed October 9<sup>th</sup>. There is one polling place available at the Election Department in Kalispell. A drop off ballot box will be provided at City Hall October 9<sup>th</sup> – November 2<sup>nd</sup>, there will be two Election Judges available on November 3<sup>rd</sup> from 7:00 am to 8:00 pm to collect ballots.

Manager Smith shared a photo of a TempCheck, which is made by a Flathead County company, Hearthstone Designs. The CVB purchased 20 units as a pilot program through the Montana Safety Grant. City Hall will be provided two units. As you put your hand under it takes your temperature at the same time it squirts hand sanitizer into your hand.

COVID cases in Flathead County have increased, the Flathead County Health Department came out with press release stating there were 722 new positive cases in the last two weeks. The Crisis Communications team will be working on a PSA regarding COVID along with recommendation for Halloween. From a City standpoint, six employees have tested positive since March, 45 employees quarantined because of close contact, and 11 employees out due to childcare and school issues. That has put a big burden on Sherri, Human Resources Director. Manager Smith thanked Sherri for her work, she has had to a lot more paperwork. City Hall will remain closed to the Public through October 16<sup>th</sup>. Discussion followed between Council and Manager Smith to work with the other cities, hospitals to band together for messaging.

**9) COMMUNICATIONS FROM MAYOR AND CITY COUNCILORS**

Council Comment

Councilor Norton is concerned with the Blackfeet Nation and the pandemic to keep families safe and thanked Manager Smith and Attorney Jacobs for their hard work through this pandemic. She also mentioned Mayor Muhlfeld who is unacknowledged frequently, he is in the frontline with staff and he does an amazing job and thanked him for his work.

Councilor Feury stated he does not think people understand the economic impact. His place of work had an employee test positive, it ended up with over a week's loss of revenues for the business, and a week's loss of wages for all employees. He does not think that people understand that what they do on their own private time really does affect so many people around them. He thanked staff and Council for their hard work and keeping our nose to the grindstone and hopefully we can continue to make a difference.

Councilor Qunell stated Kalispell Regional has been full for a couple of weeks now. Our local county health system is being overwhelmed. Schools are planning to reopen fully starting October 12th. He wonders if we need to reach out the people on Columbia Avenue and Kalispell Avenue to not offer candy on Halloween. Discussion followed between Council regarding that issue. City Manager will address that issue during the upcoming PSA.

**10) ADJOURNMENT** (Resolution 08-10 establishes 11:00 p.m. as end of meeting unless extended to 11:30 by majority)

Mayor Muhlfeld adjourned the meeting at 9:53 p.m.

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Mayor Muhlfeld

Attest:

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Michelle Howke, Whitefish City Clerk

## ORDINANCE NO. 20-13

### **An Ordinance of the City Council of the City of Whitefish, Montana, amending Title 11 - Zoning Regulations, Chapter 3 - Special Provisions, Section 42 – Multi-Family Development Standards, and Section 43 - Mixed-Use and Non-Residential Building Development Standards, of the Whitefish City Code.**

WHEREAS, the Whitefish Planning & Building Department initiated an effort to amend Title 11, Chapter 3, of the Whitefish City Code to provide clarity and better illustrations; and

WHEREAS, at a lawfully noticed public hearing on August 20, 2020, the Whitefish Planning Board received an oral report from Planning staff, reviewed Staff Report WZTA 20-03, invited public comment, and thereafter voted to recommend approval of the proposed text amendments; and

WHEREAS, at a lawfully noticed public hearing on September 8, 2020, the City Council received an oral report and a written report from Planning staff, reviewed Staff Report WZTA 20-03 and letter of transmittal, invited public input, and thereafter voted to postpone action on the item until the October 5, 2020 City Council meeting; and

WHEREAS, at a lawfully noticed public hearing on October 5, 2020, the City Council received an oral report and a written report from Planning staff, reviewed Staff Report WZTA 20-03 and letter of transmittal, invited public input, and approved the text amendments, attached as Exhibit A; and

WHEREAS, it will be in the best interests of the City of Whitefish and its inhabitants to adopt the proposed text amendments.

NOW, THEREFORE, be it ordained by the City Council of the City of Whitefish, Montana, as follows:

Section 1: All of the recitals set forth above are hereby adopted as Findings of Fact.

Section 2: Staff Report WZTA 20-03 dated August 20, 2020, together with the September 29, 2020 letter of transmittal from the Whitefish Planning & Building Department, are hereby adopted as Findings of Fact.

Section 3: Title 11 - Zoning Regulations, Chapter 3 – Special Provisions, Section 42 – Multi-Family Development Standards, and Section 43 – Mixed-Use and Non-Residential Building Development Standards, of the Whitefish City Code are hereby amended as set forth in Exhibit A attached hereto.

Section 4: In the event any word, phrase, clause, sentence, paragraph, section or other part of the Ordinance set forth herein is held invalid by a court of competent jurisdiction, such judgment shall affect only that part held invalid, and the remaining provisions thereof shall continue in full force and effect.

Section 5: This Ordinance shall take effect thirty (30) days after its adoption by the City Council of the City of Whitefish, Montana, and signing by the Mayor thereof.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF WHITEFISH, MONTANA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020.

\_\_\_\_\_  
John M. Muhlfield, Mayor

ATTEST:

\_\_\_\_\_  
Michelle Howke, City Clerk

## EXHIBIT A

### Whitefish City Code Title 11 – Zoning Regulations Chapter 3 – Special Provisions

#### 11-3-42: MULTI-FAMILY DEVELOPMENT STANDARDS:

A. Purpose and Intent: The general purpose of the multi-family development standards are as follows:

1. To describe how new multi-family buildings will be compatible with their surroundings;
2. To ensure new multi-family development is compatible with and enhances the historical character and traditional housing of Whitefish's residential neighborhoods;
3. To enhance the built environment for pedestrians in higher density areas;
4. To provide for development of neighborhoods with attractive, well-connected streets, sidewalks, and trails that enable convenient, direct access to neighborhood centers, parks, schools, and transit stops;
5. To ensure adequate light, air, and readily accessible open space for multi-family developments in order to maintain public health, safety, and welfare;
6. To ensure the compatibility of dissimilar adjoining land uses;
7. To maintain or improve the character, appearance, and livability of established neighborhoods by protecting them from incompatible uses, excessive noise, illumination, loss of privacy, and similar significant nuisances; and
8. To encourage creativity and flexibility in the design of multi-family developments in a manner that maximizes unique site attributes and is compatible with the character and intensity of adjoining land use.

B. Orientation and Multiple Buildings Standards:

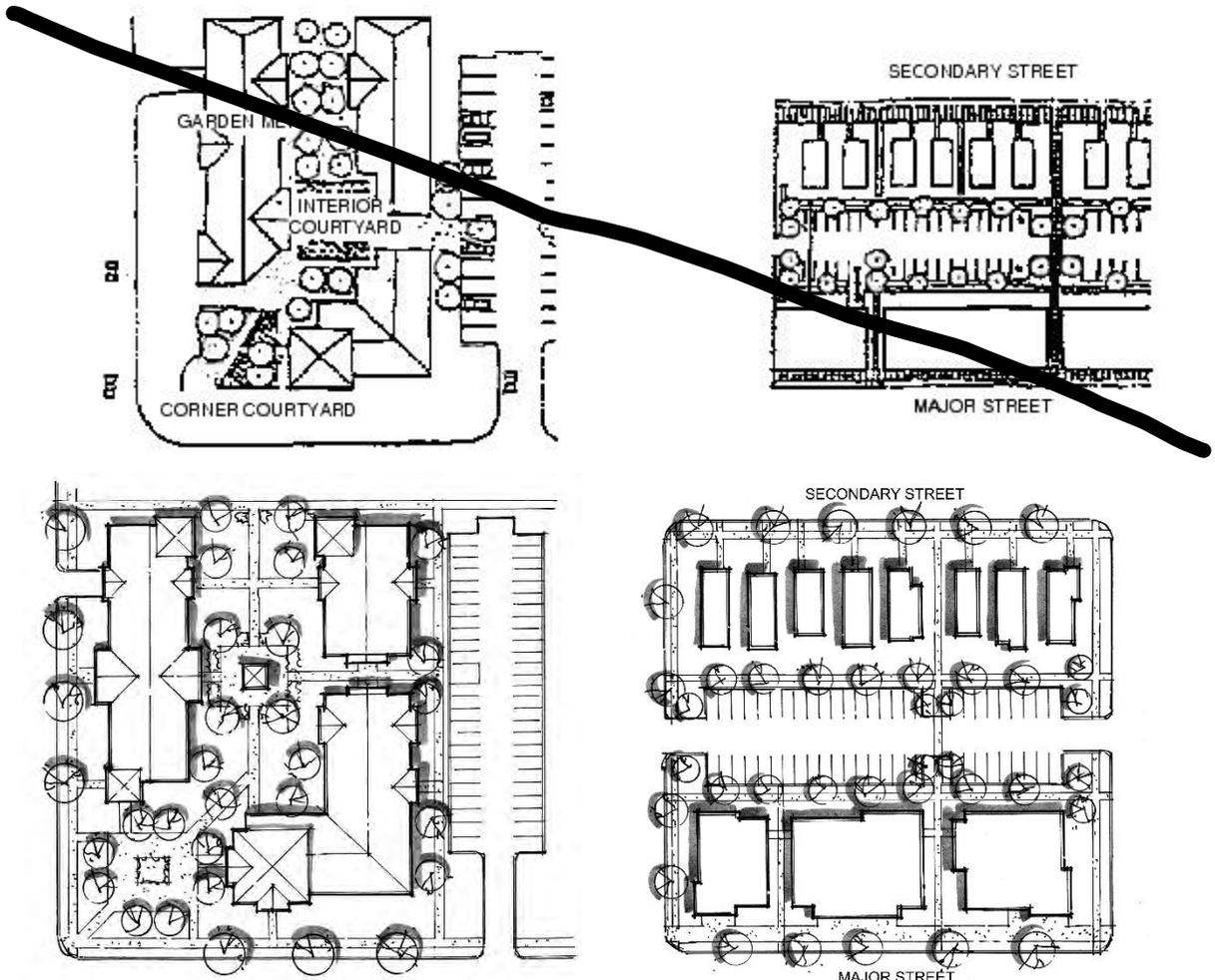
1. Requirement. Multi-family projects must be designed to orient to public streets and to provide distinct bicycle, pedestrian, and vehicular connections to existing neighborhoods.
2. Techniques for complying with the requirement in subsection B-1 include, but are not limited to:
  - a. Using a modified street grid system where most buildings in a project front on a street. Where no public streets exist, creating a grid street system within the project.

b. Locating parking areas behind or under buildings and accessing such parking from alley-type driveways. If driveway access from streets is necessary, minimum width driveways meeting the fire code standards should be used. Shared driveways between adjacent uses are preferred.

c. Providing each building with direct and distinct pedestrian access from the main street fronting the building and from the back where the parking is located.

d. Design alternate and/or separate routes into the development that clearly define the bicycle and pedestrian areas versus areas for vehicles.

3. The following illustrations depicts site planning techniques that orient multi-family projects to streets, adding value and identity to the complex by adding interior or corner courtyards and siting parking behind the buildings:



(New Illustration)

4. Multi-building design. For multi-family development sites with multiple buildings on one lot or multiple buildings on adjacent lots owned and developed contiguously as one apartment complex, the following additional standards apply:

a. Buildings must exhibit a general similarity of scale, orientation, and proportion with unified natural and built features. As a general rule, taller buildings must be placed toward the interior of the site and stepped back from the street.

b. Buildings must be grouped or sited with other buildings to create distinct outdoor spaces by being organized around a common open space, courtyards, public open space, natural site features (such as a stream corridor), or amenities such as recreational facilities.

c. ~~Retention ponds must be irregular and organically shaped.~~ Buildings must not present blank walls lacking articulation, modulation, or window and door openings to streets, access drives, or parking areas.

d. Sites must connect to natural corridors and trail systems and must facilitate pedestrian and bicycle traffic.

e. Multiple apartment buildings on one lot are not subject to 11-2-3-B-12 and the special provisions set forth in 11-3-14-B to encourage smaller building scale and massing.

C. Parking Location and Design:

1. Requirement. The impact of driveways and parking lots on the public and neighboring properties must be minimized by designing, locating, and screening parking lots, carports, and garages in a way that creates few interruptions on the street, sidewalk, or building facade. Bicycle parking and storage must be provided.

2. Techniques for complying with the requirement in subsection C-1 include, but are not limited to:

a. Locating surface parking at the rear or side of lot;

b. Breaking large parking lots into small ones in a way that provides easy access for pedestrians;

c. Minimizing the number and width of driveways and curb cuts;

d. Sharing driveways with adjacent property owners;

e. Locating parking in areas that are less visible from the street but preferably with southern exposure for snow melt;

f. Locating driveways so they are visually less dominant and berming and landscaping them when they are visible from the street while maintaining required clear vision triangles (see 11-3-8);

g. Screening parking lots abutting single-family residences with landscaping, berming, and/or natural material fencing (see 11-6-5, Landscape and Screening); ~~and~~

h. Limiting parking lots on street frontages to thirty (30) percent of the street frontage;

i. Parking lot lighting must be the minimum needed to create adequate visibility at night, must be energy efficient and dark sky compliant meeting outdoor lighting standards found in 11-3-25, and must utilize energy efficient "warm-white" or filtered (CCT <3,000 K; S/P ratio <1.2) fully shielded LED lights as much as possible. Sufficient ground-level lighting must be provided where stairs, curbs, ramps, abrupt changes in walk direction, and crossing vehicle lanes occur; ~~and~~

j. Secure short-term bicycle parking must be provided in a convenient location at one space for every four dwelling units, with a minimum of two spaces provided.

D. Fences and Walls:

1. Requirement. The site must be designed to minimize the need for fences and walls which inhibit or discourage pedestrian use of sidewalks or paths, isolate neighborhoods, or separate neighborhoods from main roads.

2. Techniques for complying with the requirement in subsection D-1 include, but are not limited to, placing pedestrian breaks and/or crossings at frequent intervals where a fence, wall or landscaped area separates a sidewalk from a building or one development from another, or when fencing is necessary, using fencing that is easy to see through such as natural wood split rail or picket fencing.

E. Site Lighting and Support Facilities:

1. Requirement. Provide adequate lighting, screening, and pedestrian access to supporting facilities such as tot lots, mailboxes, bus stops, recycling areas and dumpsters. If otherwise required as a condition of project approval, locate passenger shelters in well-lit areas with access to the multi-family walkway network. Provide for shielding and directing of lighting to minimize impacts upon residents and abutting property owners. Lighting must meet the requirements of 11-3-25, Outdoor Lighting, and energy efficient "warm-white" or filtered (CCT <3,000 K; S/P ratio <1.2) fully shielded LED lights must be utilized as much as possible. Light fixtures not necessary for security purposes must be activated by motion sensor devices where practicable.

2. Techniques for complying with the requirement in subsection E-1 include, but are not limited to:

a. Site Lighting:

(1) Providing site lighting along walkways throughout the project that is pedestrian scale, and low in height and intensity;

- (2) Providing security lighting in parking areas and play areas;
- (3) Preventing site lighting from shining into the dwelling units in the development; and
- (4) Directing lighting away from neighboring development.

3. Bus Stops. Ensuring that the multi-family walkway network provides convenient pedestrian access to the nearest transit stop.

4. Support Facilities:

a. Locating support facilities such as trash receptacles, dumpsters, and mechanical equipment in areas adjacent to interior walkways; and

b. Fully screening and landscaping support facilities.

F. Grading/Tree Retention:

1. Requirement. Multi-family projects must be designed to minimize impacts to existing topography and vegetation and require a tree preservation plan with an application submittal.

2. Techniques for complying with the requirement in subsection F-1 include, but are not limited to:

a. Incorporating the natural grades in the overall design of the project;

b. Incorporating existing groups of trees/vegetation that will be protected and retained;

c. Minimizing disturbance of open space areas to better facilitate stormwater infiltration; and

d. Avoiding the placement of buildings adjacent to ridgetops, so the rooftops do not extend above the crest of the ridgetops of the hillside, especially where views of natural amenities are concerned.

G. Open Space and Outdoor Common and Private Spaces:

1. Requirement. Usable common area open space of at least 10% of the site must be provided in a multi-family development for all the residents of the development in a central location accessible to all units. Given the environmental and recreational benefit of open space, it should be integrated into the overall design of the development rather than consisting of residual areas left over after buildings and parking lots are sited.

2. Techniques for complying with the requirement in subsection G-1 include, but are not limited to:

a. Combining the open space of contiguous properties to provide for larger viable open space areas;

b. Siting permanent outdoor recreation equipment away from storm drainage facilities;

c. Using walkways to connect the open space to the multi-family buildings, parking areas, and adjacent neighborhoods;~~and~~

d. Incorporating a variety of amenities and activities for all age groups in the open space~~-, including but not limited to site furnishings such as benches and tables, picnic and barbeque areas, patios and courtyards, gardens, water features, tot lots, play fields, sport courts (such as tennis, volleyball, or bocce ball), and open lawns; and~~

e. Required setbacks and landscaping buffers, parking areas, and emergency access and/or turnarounds cannot be counted as common area open space.

3. Visually shielded private outdoor spaces such as yards, decks, or patios should be provided to encourage a sense of ownership by residents. Shielding may consist of berms, hedges, landscaping, fencing, or walls.

#### H. Neighborhood Scale:

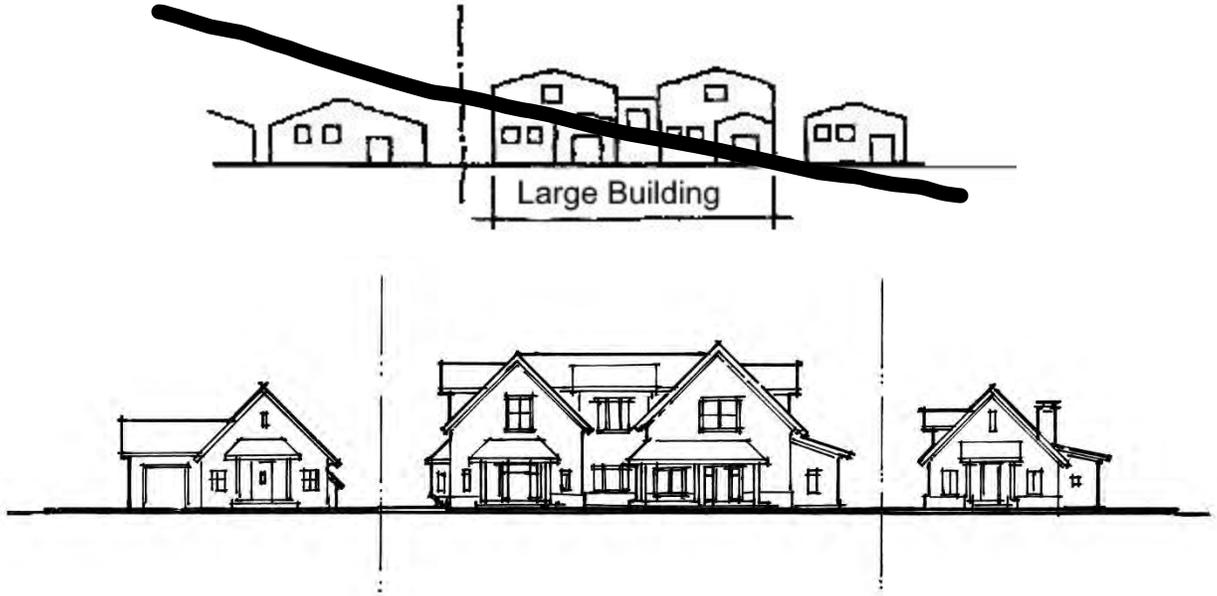
1. Requirement. To the extent reasonable and practicable, the architectural scale of new buildings proposed for existing neighborhoods must be compatible with and complement the architectural character of neighboring buildings.

2. Techniques for complying with the requirement in subsection 1 of this section include, but are not limited to:

a. Breaking a multi-family building into house size building elements, especially where there is a building height transition from adjoining development; and

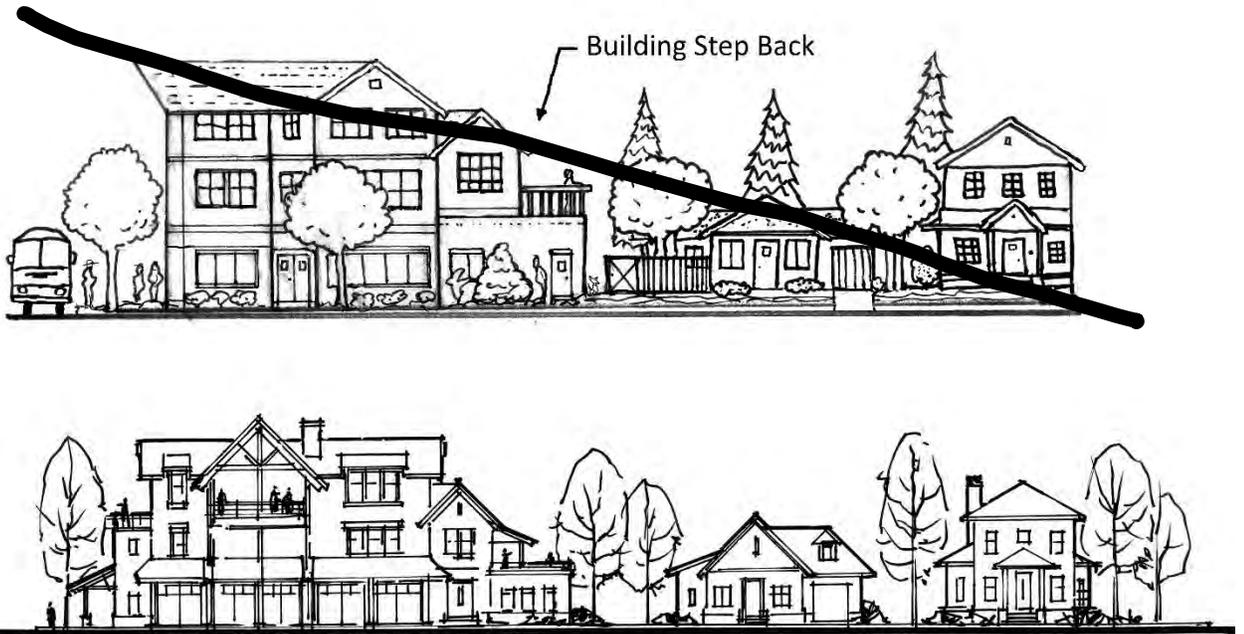
b. Using the existing separation pattern and orientation of buildings in the adjacent neighborhood to establish the pattern of the new developments.

3. The following illustrations depict how multi-family buildings can be better integrated into existing neighborhoods through architectural design:



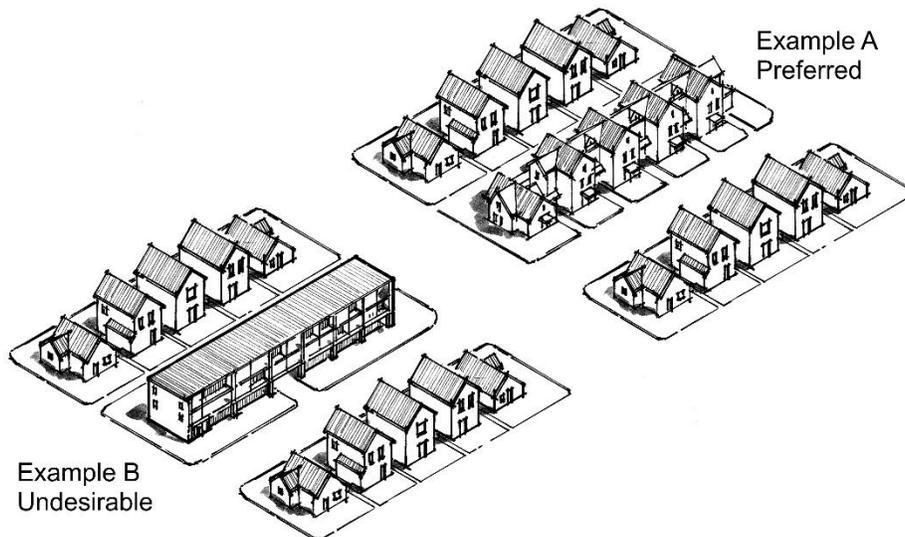
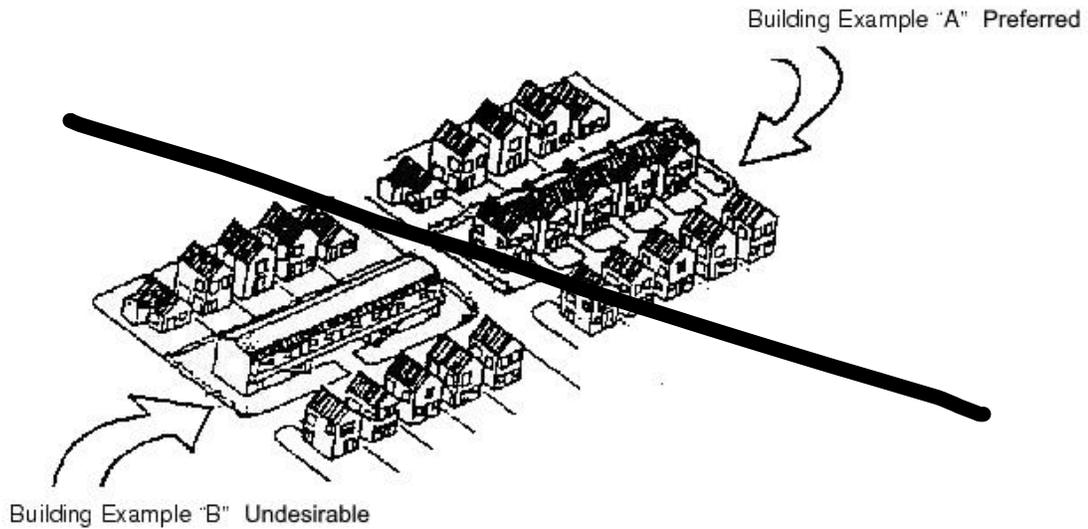
(New Illustration)

a. Articulation and modulation of buildings and roof lines reduces perceived building bulk and scale.



(New Illustration)

b. Designing multi-family buildings to "step back" from abutting lower density properties helps the building to better fit into the existing neighborhood.



(New Illustration)

c. The multi-family buildings depicted as "A" and "B" above have been built on an identical site. However, building example "A" incorporates design clues from the surrounding neighborhood and is the preferred design. Building example "A" covers roughly the same lot area as building example "B" and provides for the same number of units, while fitting in with its surroundings. Multi-family building example "B" has been built on a site surrounded by single-family development. The building design is undesirable as it bears no resemblance to the existing neighborhood and looks out of place.

11-3-43: **MIXED-USE AND NON-RESIDENTIAL BUILDING DEVELOPMENT STANDARDS:**

A. Purpose and Intent: The general purposes of the mixed-use and non-residential design standards are as follows:

1. To help implement the city's Growth Policy, Downtown Business District Master Plan, and various Corridor Plans;
2. Promote development in the city's commercial zones compatible with the historic character and pedestrian orientation of Whitefish, encouraging and requiring commercial development that enables the safe circulation of pedestrians with minimal vehicle-pedestrian conflicts, softens the auto-dominated nature of the zoning district, and provides a regional design, which invites the pedestrian into ground floor commercial establishments;
3. Enrich the quality of commercial zones built and natural environments;
4. Promote distinct communities and senses of place that strengthen the commercial districts as commercial service destinations for the city's residents and visitors;
5. Provide clear direction to public and private decision makers regarding the city's property development expectations; and
6. Require building design compatible with adopted requirements, while allowing design professionals guidance that is flexible and encourages creative solutions.

B. Building Orientation and Multi-Building Sites:

1. Orientation. Buildings must be oriented towards the primary street frontage and public paths and/or sidewalks. Buildings on corner lots should be oriented towards the primary intersection.

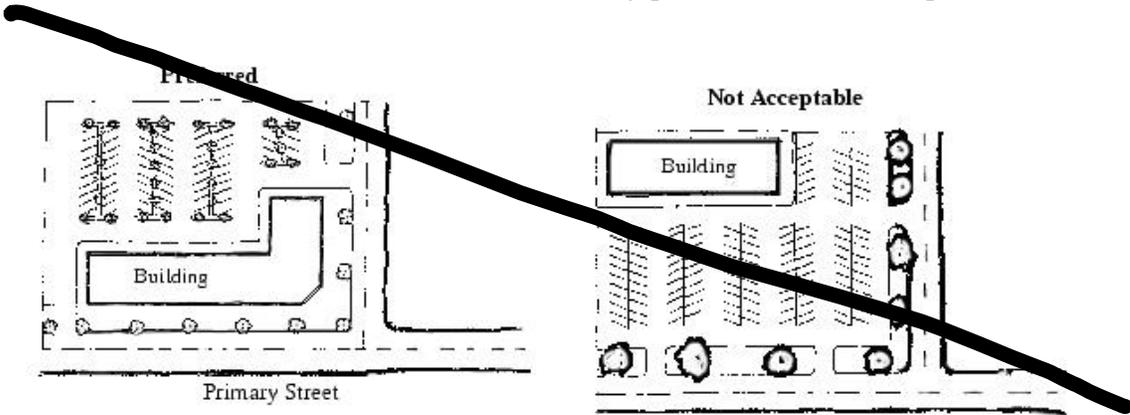
a. Buildings may be located further away from the primary street when separated from the street by existing healthy and mature trees being retained in perpetuity. In those cases, buildings should be placed as close to the trees as practical and a plan must be submitted to maintain the health of the trees along with a replacement plan for dead, dying, or hazardous trees. ~~Where properties front one or more streets, new buildings must be located no more than 25 feet from the primary street frontage.~~

~~(1) — Exception: The maximum front yard setback does not apply where a landscaped greenbelt is required. In those cases, buildings must be placed as close to the greenbelt as practical.~~

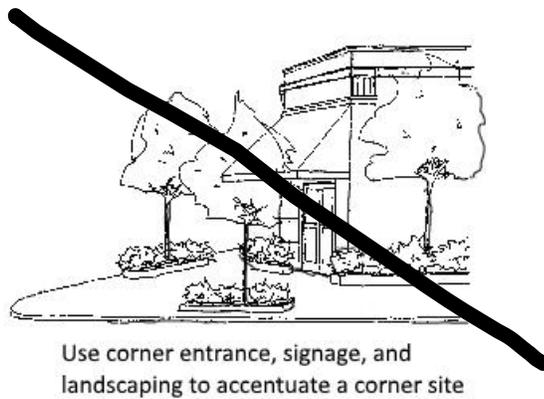
~~(2) — Exception: Accessory and secondary buildings need not comply with the maximum setback standards where a primary building occupies the available street frontage.~~

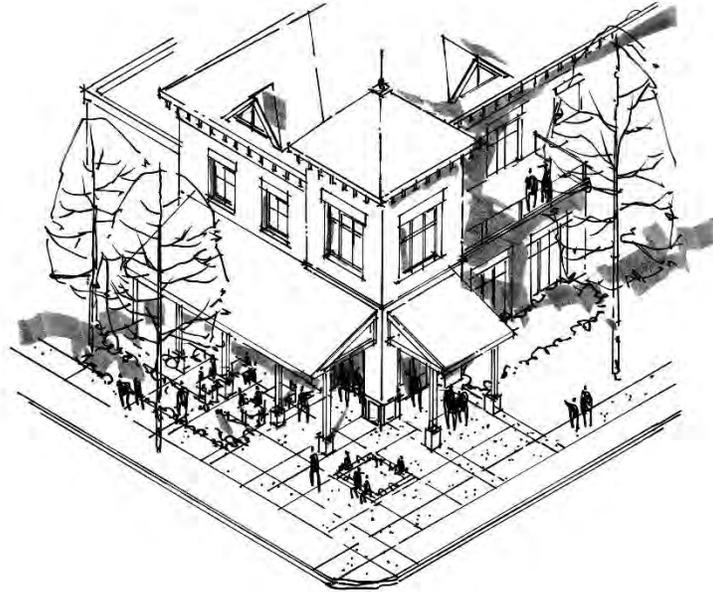
~~(3) No vehicle access, drive throughs, or private roads are allowed in the 25' area, it must be either landscaped or pedestrian space such as a plazas or patios with outdoor seating.~~

b. Buildings must be arranged on the site so that their orientation frames, encloses, or otherwise gives prominence to a pedestrian corridor, an outdoor gathering space with outdoor seating, a "main street" pedestrian or vehicle access corridor within the site, or the corners of street intersections or entry points into the development.



c. Buildings on corner lots should be oriented toward the primary intersection and the primary and secondary street frontages, while parking and auto access must be located away from the primary intersection corners.

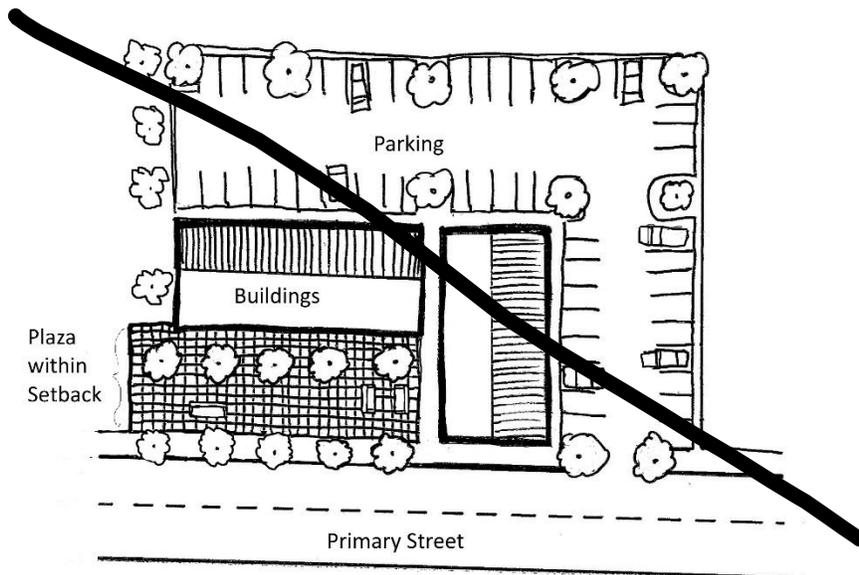


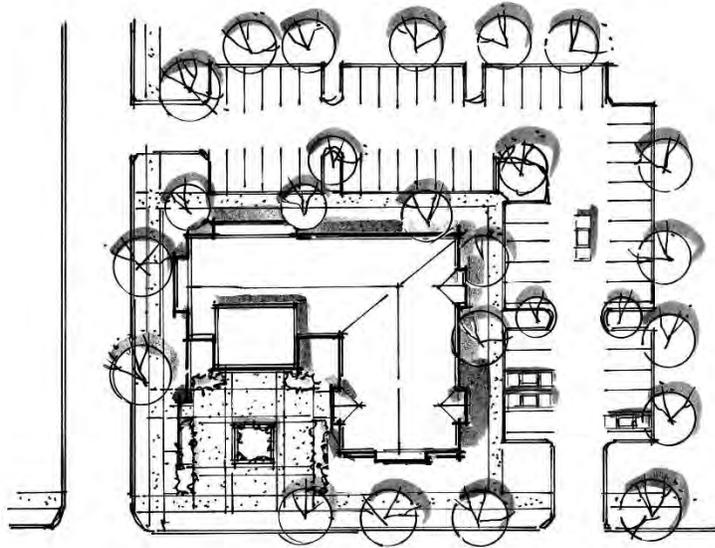


(New Illustration)

d. The use of lot corner entrances, plazas, signage, and/or landscaping is encouraged to accentuate corner sites.

2. Separation. Where buildings are separated from the primary street frontage by a required setback or public sidewalk ~~along the primary street frontage~~, the space should contain public and pedestrian amenities.





(New Illustration)

a. Buildings may be separated from the sidewalk by plazas, landscaping, benches, bicycle racks, trash cans, and other pedestrian amenities.

3. Multi-building design. For non-residential and mixed-use development sites with multiple buildings on one lot or multiple buildings on adjacent lots owned and developed contiguously as part of a business, retail, or industrial park, the following additional standards apply:

a. Buildings must exhibit a general similarity of scale, orientation, and proportion with unified natural and built features. As a general rule, taller buildings must be placed toward the interior of the site and stepped back from the street-;

b. Buildings must be grouped or sited with other buildings to create distinct outdoor spaces, with distinct pedestrian connections between the buildings, parking, and the street-;

c. Retention ponds must be irregular and organically shaped-;

d. Sites must connect to natural corridors and trail systems and must facilitate pedestrian and bicycle traffic-; and

e. Multiple buildings on one lot are ~~also~~ subject to 11-2-3-B-12 and the special provisions set forth in 11-3-14-B.

C. Topography: Existing trees, topography and other existing natural features must be incorporated into the project design.

1. To the extent reasonable and practicable incorporate natural grades into the overall site plan.
2. Incorporate natural features such as trees, large rocks or boulders into landscaping design.
3. To the extent reasonable, existing healthy, mature trees must be protected and incorporated into the overall site landscaping features.

D. Landscaping: Landscaping must be incorporated into new development design to soften the manmade environment, provide vegetative buffers, provide open space, and mitigate any unavoidable loss of existing native vegetation. The preferred method of landscaping is to first incorporate and preserve existing trees and shrubs, topography and other existing natural features into the project design. Any unavoidable loss of existing native vegetation must be mitigated.

1. Landscaping in parking lots must conform to the requirements of section 11-6-5, Landscaping and Screening.
2. Landscaping techniques including living plant material and supporting elements must include, but are not limited to, the following:
  - a. Landscape open areas created by building modulation.
  - b. Retain natural vegetation and undisturbed open space.
  - c. Use plants that require low amounts of water, including native drought-resistant species.
  - d. Locate trees on storefront street frontages at appropriate spacing so that at maturity building signage and entrance are clearly visible from the street and sidewalk.
  - e. Incorporate on-site natural objects such as rocks, boulders and tree stumps into landscape design where possible.
  - f. Shrubs, grasses and other nontree vegetation must be included in the plan as appropriate to the site on a case-by-case basis.
  - g. Landscaping techniques for the WB-3 zone and areas with limited undeveloped space may include:
    - (1) Providing frameworks such as trellises or arbors for plants;
    - (2) Incorporating planter guards, retaining walls, or low planter walls as part of the architecture;

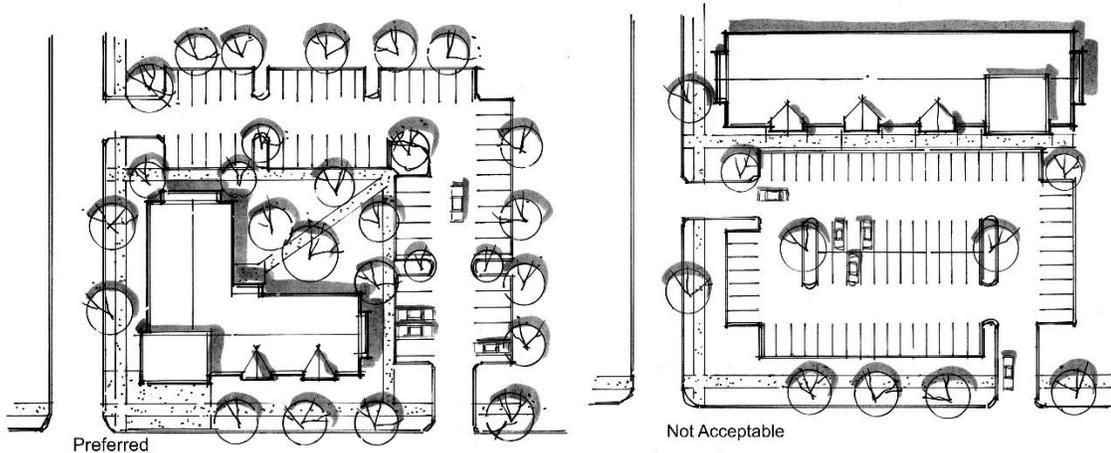
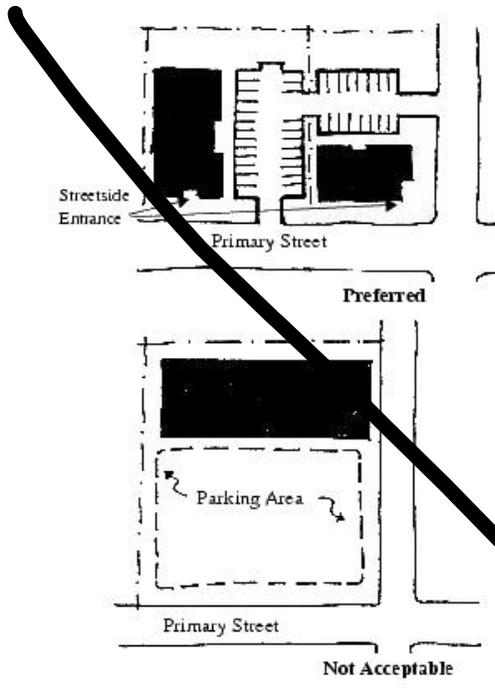
(3) Incorporating upper story planter boxes, 'green roofs,' roof gardens or plants;

(4) Incorporating outdoor furniture into the landscaping plan.

3. The zoning administrator may consider a waiver of certain landscaping requirements if significant existing (especially native) vegetation and topography are preserved.

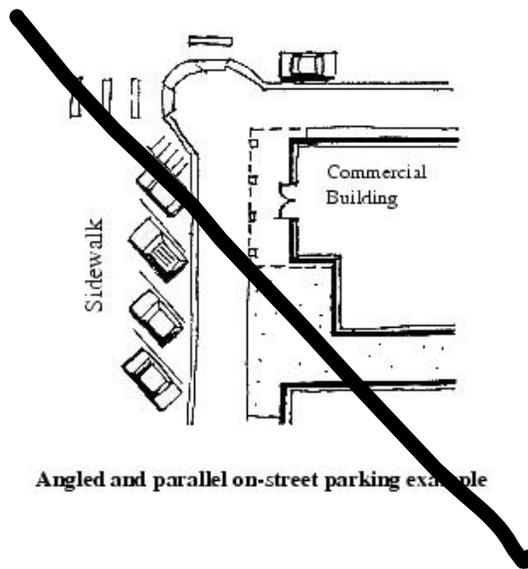
E. Off-Street Parking Lots: Development must minimize the impact of parking on the building's relationship to the street and pedestrian-oriented character and character of the neighborhood.

1. Off-street parking must be located to the side or rear of buildings.



(New Illustration)

1. Parking lots must not be located between the building and the primary street frontage.
  2. Off-street parking must occupy no more than thirty (30) percent of the primary street frontage nor more than seventy-five (75) percent of any secondary street frontage for corner lots.
  3. Parking lot lighting must be the minimum needed to create adequate visibility at night, must be energy efficient and dark sky compliant meeting outdoor lighting standards found in 11-3-25 and must utilize energy efficient "warm-white" or filtered (CCT <3,000 K; S/P ratio <1.2) fully shielded LED lights as much as possible. Lighting must be provided where stairs, curbs, ramps, abrupt changes in walk direction, and crossing vehicle lanes occur. Light fixtures not necessary for security purposes must be reduced, activated by motion sensor devices, or turned off during hours when the business or use is not open.
  4. Adjacent developments are required to link parking areas where physically possible as well as access ways in order to encourage combining of shopping trips, pedestrian activity and to reduce redundant driveways and the need to re-access arterials.
  5. Vehicle circulation on-site must be clearly organized to facilitate movement into, throughout, and out of parking areas. Parking drive lanes and intersections must align wherever practical.
  6. Low impact development techniques for stormwater management should be used wherever possible.
2. Secure short-term bicycle parking shall be provided in a convenient location at one space for every four dwelling units and/or 10% of the number of required vehicle parking spaces, whichever is greater, with a minimum of two spaces provided.



- F. On-Street Parking: On-street parking is encouraged along streets, access drives, and alleys in order to provide convenient access and reduce the need for off-street parking lots.
1. The required number of off-street parking spaces shall be reduced by one space for each newly developed on-street parking space.
  2. Parking for Americans with Disabilities Act (ADA) requirements may be met on-street if such a location meets ADA design standards and would better serve the public than off-street ADA parking.
- G. Pedestrian and Bicycle Accommodations: Provide safe, bicycle and pedestrian-friendly development.
1. Walkways must be provided between the primary abutting street and the main pedestrian entrances to buildings.
  2. The interruption of sidewalks by driveways should be minimized. Where driveways cross sidewalks, the sidewalks should remain raised with a curb cut and ramp over the sidewalk provided so cars may pass over the sidewalk rather than requiring pedestrians to step down to an interrupting driveway.
  3. Pedestrian access must be provided between commercial sites and adjacent areas. Existing informal pathway locations and future walkway locations shown in the nonmotorized transportation plan shall be taken into consideration when locating new paths.
  4. Bicycle locking racks that support the entire bicycle frame, not just the front wheel, must be provided. Bicycle racks must be located as close as possible to primary building entrances (generally within 20 feet). New buildings should provide covered bicycle racks, especially those used by employees.
- H. Mixed-Use or Non-residential Development Adjacent to Residential Zones: Buildings must be designed to ensure that building massing, height, and scale provide sensitive transition to adjoining residential neighborhoods. When abutting a residential zoning district, the project's landscaping plan must include provisions for vegetative screening between the project and the residential property.
1. New developments adjacent residential areas must mitigate impacts through careful site planning and architectural design. Possible mitigation techniques include, but are not limited to, the following:
    - a. Locating open space and preserving existing vegetation on the site's edge to further separate the building from less intensive uses;

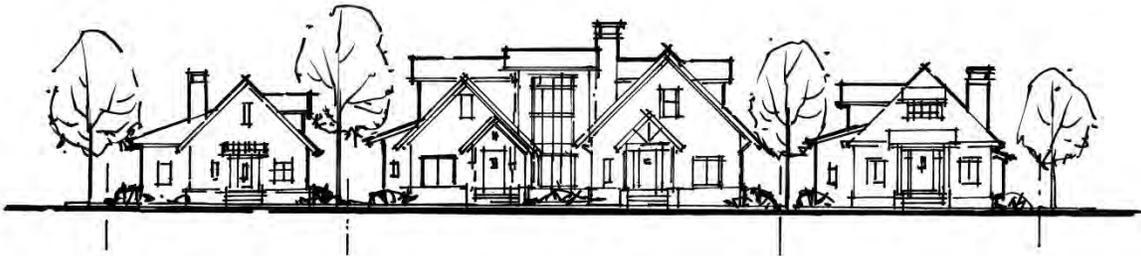


This multistory commercial building "steps back" to conform to the abutting lower density property. This use of modulation helps the commercial building fit into the neighborhood.



(New Illustration)

b. Stepping down the massing of the building along the site's edge to help larger buildings fit into the context of a neighborhood;



(New Illustration)

c. Limiting the length of or articulating building facades to reflect adjacent residential patterns; and

d. Creative use and ongoing maintenance of landscaping, such as buffers, berms, mounds, rockeries, living fences, and swales. Buffers should be designed to avoid the appearance of a straight line or 'wall' of uniform plant material and must be wide enough to accommodate the planted species at maturation.

I. Support Elements: Mechanical elements, loading areas, trash, and recycling containers must be located and/or screened to minimize their visibility from public view.

1. Refuse and storage containers must be screened with built and/or landscaped confinements.

2. Refuse and storage areas should be located to the rear or side of the property and away from adjacent streets and residential property.

3. Service and loading areas should be located to the rear or sides of buildings away from adjacent streets but must be designed for convenient use.

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**ORDINANCE NO. 20-\_\_**

**An Ordinance of the City Council of the City of Whitefish, Montana, amending the Architectural Review Standards.**

WHEREAS, in 2003 the City established the Architectural Review Committee to review commercial, industrial, and residential projects over two units; and

WHEREAS, the Architectural Review Committee is a decision-making body and acts upon applications unless its decision is appealed to the City Council; and

WHEREAS, also in 2003, the City adopted Architectural Review Standards which later became mandatory and have otherwise evolved over time; and

WHEREAS, in September of 2018, the City Council and Architectural Review Committee held a joint work session to review the current Architectural Review Standards, propose changes, and receive direction; and

WHEREAS, pursuant to City Council's direction, the Architectural Review Committee embarked on amending the Architectural Review Standards; and

WHEREAS, on September 8, 2020, the Architectural Review Committee and the City Council held a joint work session to review the proposed amendments to the Architectural Review Standards; and

WHEREAS, at a lawfully noticed meeting held on September 17, 2020, the Whitefish Planning Board received an oral and written report from Planning staff, invited public comment and approved the proposed amendments to the Architectural Review Standards; and

WHEREAS, at lawfully notice meeting held October 19, 2020, the Whitefish City Council received an oral and written report from Planning staff regarding the proposed amendments to the Architectural Review Standards and invited public comment; and

WHEREAS, it will be in the best interests of the City of Whitefish and its inhabitants to adopt the proposed amendments to the Architectural Review Standards.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Whitefish, Montana, as follows:

Section 1: All of the recitals set forth above are hereby adopted as Findings of Fact.

Section 2: Staff Report WZTA 20-04 dated September 10, 2020, together with the October 13, 2020 letter of transmittal from the Whitefish Planning & Building Department, are hereby adopted as Findings of Fact.

Section 3: The amendments to the Architectural Review Standards as provided in Exhibit "A," attached hereto and incorporated herein, are hereby adopted. These Standards supersede any previously adopted Standards.

Section 4: In the event any word, phrase, clause, sentence, paragraph, section or other part of the Ordinance set forth herein is held invalid by a court of competent jurisdiction, such judgment shall affect only that part held invalid, and the remaining provisions thereof shall continue in full force and effect.

Section 5: This Ordinance shall take effect thirty (30) days after its adoption by the City Council of the City of Whitefish, Montana, and signing by the Mayor thereof.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF WHITEFISH, MONTANA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020.

\_\_\_\_\_  
John M. Muhlfeld, Mayor

ATTEST:

\_\_\_\_\_  
Michele Howke, City Clerk

# Architectural Review Standards

Planning & Building



## Exhibit A

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Cover Photo Credit: Whitefish Pilot

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# VISION STATEMENT

*The City of Whitefish is a unique and wonderful place. Beginning as a blue-collar railroad and logging town, it has achieved an additional identity as a resort destination with world-class skiing, fishing, golf, and proximity to Glacier National Park. It is a town with a rich character and heritage in its historic buildings, neighborhoods, its people and stories.*

*Moving into the future, we intend to continue developing a community that encourages interaction, involvement and vitality among its people. To maintain Whitefish's character, and to respond to the current challenges of rapid*

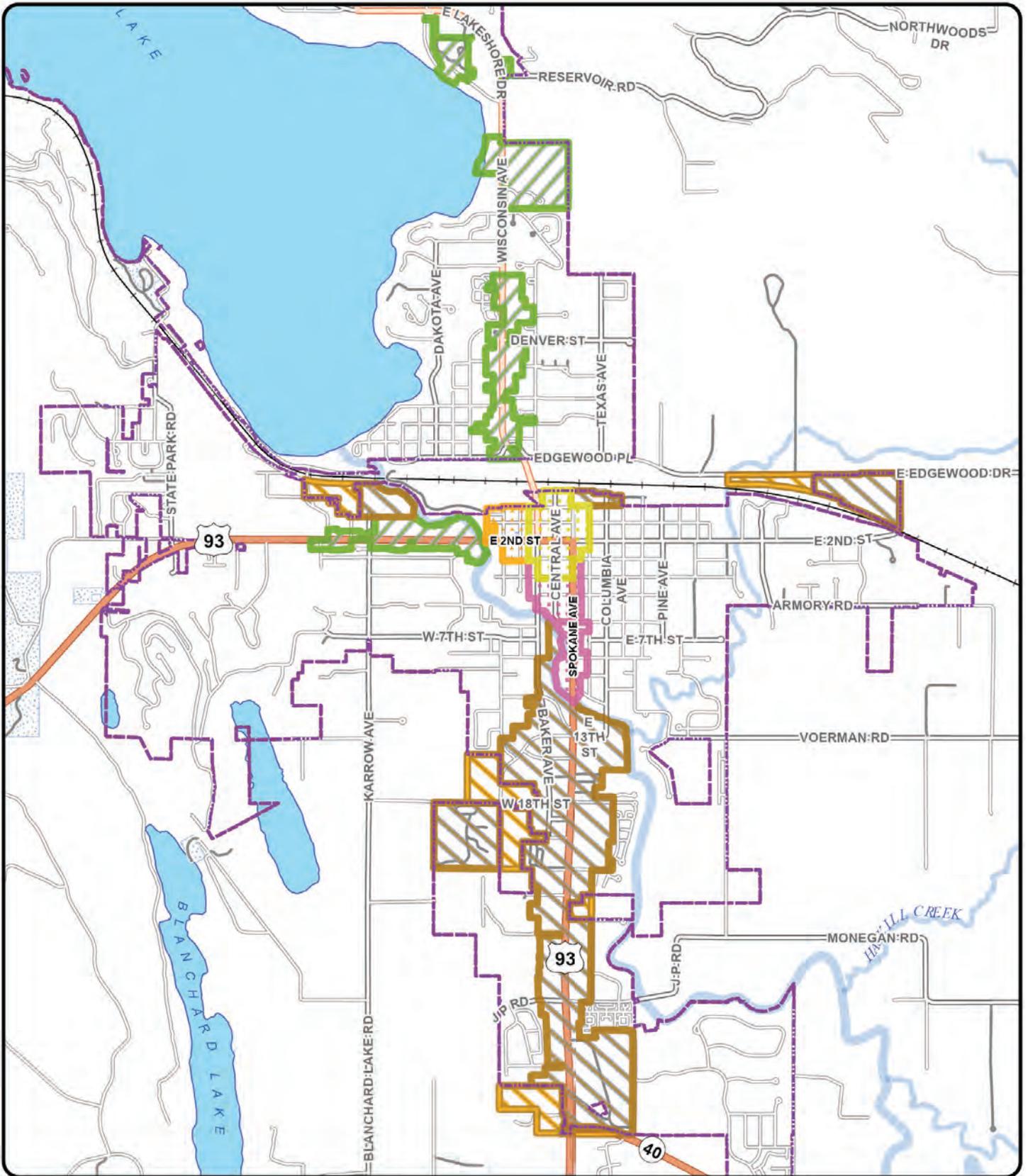
*growth, we must focus our efforts toward good planning and design.*

*Architecture should be a response to the site and environment as much as an organization of program. Honesty of form, material selection and application, and structure without adding unnecessary clutter or faux components contributes to architecture that is authentic, flexible, and reflective of Whitefish.*

*This will result in a community that preserves its diversity, welcomes visitors, and respects the physical environment that is so important to those who love Whitefish.*



Photo Credit: Whitefish Pilot



**Architectural Design Districts**



- |   |                           |   |                           |   |                       |
|---|---------------------------|---|---------------------------|---|-----------------------|
|  | Old Town Central District |  | Highway District          |  | Whitefish City Limits |
|  | Old Town Railway District |  | Highway District County   |   |                       |
|  | Old Town South District   |  | Resort Community Business |   |                       |





## Chapter 1

### Why Have Design Standards?

This document presents Architectural Design Standards for building in Whitefish. They are based on a commitment to preserving the City’s historic character and heritage through high quality design of new buildings.

The purpose of this document is to inform property owners about the City’s design policies. Understanding these polices will help owners in making decisions about their buildings by focusing on the principles of urban design, which promote an environment scaled to pedestrians, while maintaining cohesive neighborhood identity and respecting the unique qualities of Whitefish.

### Topics Covered:

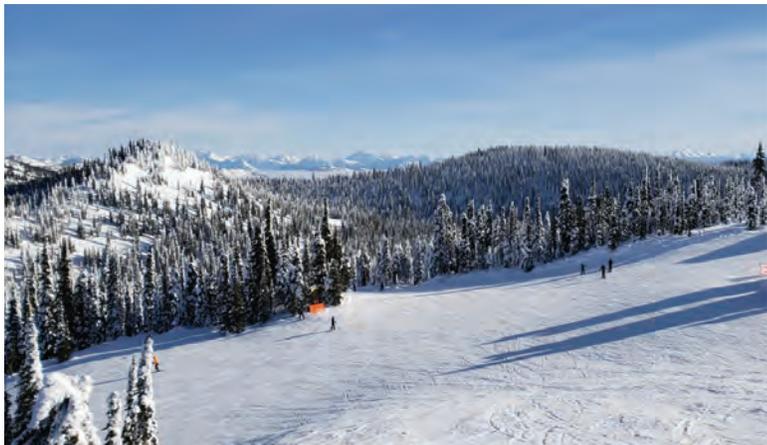
- Application and Review Process
- Site Planning
- Landscaping
- Parking
- Lighting Design
- Required Architectural Building Design Elements

### Design Districts:

The Architectural Review Standards divide the Whitefish Planning Jurisdiction into four different Design Districts, which are identified by the unique characteristics found within each district. The boundaries of the districts are either streets or natural features, such as the Whitefish River or Whitefish Lake.

- Highway District (Highway 93 South, Highway 40, and areas zoned Industrial)
- Old Town Districts (Central, South, and Railway)
- Resort Community Business District (Wisconsin Avenue and Highway 93 North)
- Residential District (Duplex and Larger)

Public/Institutional facilities are located in all design districts. It is expected that new public facilities will fit into the design district in which they are located.



# APPLICATION & REVIEW PROCESS

## Chapter 2

The Architectural Design Standards are adopted by ordinance and have the same force of law as the City of Whitefish Zoning Regulations. The Standards contain both broader objectives and more specific architectural guidelines than the zoning regulations.

Although the Standards are more than merely advisory, they also allow room for consideration of design proposals not found within the Standards. Each project is different. Therefore, some standards might be emphasized while others are de-emphasized, but no standard will be overlooked.

The objective of the Standards is to encourage quality building and development to enhance both the natural and developed environments in Whitefish.

### 2.1 Become Familiar with City of Whitefish Regulations and Other Plans

In addition to these Standards, other ordinances and plans adopted by the City of Whitefish may also influence the design and approval of your project. Carefully review all available written materials before starting the planning process.

The other regulations and plans to review are:

- City of Whitefish Zoning Regulations:
  - Sign Regulations
  - Landscaping Regulations
  - Parking Standards
  - Outdoor Lighting Standards
  - Lake and Lakeshore Protection Regulations
- Whitefish City-County Growth Policy, as amended

### 2.2 Architectural Review Committee

The Architectural Review Committee (“the Committee”) consists of seven members. The specific make-up of the Architectural Review Committee is provided for in §2-10-3A, WCC.

### 2.3 Scope of Review

The Standards apply to construction of all new buildings:

- Commercial
- Industrial
- Residential (multi-family, triplex, and duplex)
- Public
- Accessory Buildings for Commercial, Industrial, Multi-Family, or Public Buildings (e.g., vehicle canopies, storage sheds, structures for housing equipment, trash enclosures, and open shelters)
- Addition or Exterior Modifications or Alterations to Commercial, Industrial, Multi-Family, or Public Buildings
- Facade Changes or Repainting of Commercial, Industrial, Multi-Family, or Public Buildings

The Zoning Administrator or designee may waive this requirement if it is determined the modification is insignificant and inconsequential to the purpose and intent of the Architectural Review Standards. Finally, any resumption of use after abandonment will require compliance with the Standards. (§11-7-9B, WCC)

In cases where the City Council has reviewed a building design through the Conditional Use Permit or Planned Unit Development, City Council approval is not a final architectural review approval but an approval of the conceptual plans. Final architectural review is required from the Architectural Review Committee prior to submitting a building permit application.

*Principles of good design are the cornerstone to a vibrant, functional, and pleasing community.*

## 2.4 How These Standards Are Organized

The Standards are organized by Design District, as described in Chapter 1. Within each chapter, one will find standards covering a broad range of topics from site design, which includes the site, landscaping, parking and outdoor lighting, to building design, which covers scale, relationship to neighborhood, shape and form, and exterior materials and colors. In addition, there are standards for buildings greater than 10,000 square feet in the Highway District and formula retail standards.

Each chapter will start with a description of the Design District, its location and character. A goal for the District's evolution will be provided, followed by overarching principals and more specific standards. In addition, photos and/or drawings will be provided as examples of how the various standards can be met.

Terms considered to be mandatory, including but not limited to "will" and "must," when used in connection with design elements, may at the discretion of the Architectural Review Committee be interpreted as guidelines, if the unique features of a particular application render it in the best interest of the City of Whitefish to do so. In such a case, when granting approval of an application, the Committee must adopt specific findings to justify such interpretation.

## 2.5 Utilization of Design Professionals

Property owners are strongly encouraged to engage licensed professionals such as architects, engineers, and landscape architects at the beginning of the review process and encourage their participation during Committee meetings. Design professionals can facilitate an efficient review process and often will save the owner time and money. These Standards, the Committee and/or City Planning staff are not intended to take the place of professional assistance.

The Whitefish Building Department requires certain projects to have an architect's stamp. These projects include commercial, industrial and multi-family (4-plex and up). An architect must be involved in the Architectural Review process for these types of projects.

## 2.6 Submittal Deadline for Formal Application or Pre-Application Meeting

The applicant must submit a completed application packet to the Whitefish Planning & Building Department no less than 14 days prior to the regularly scheduled meeting of the Committee. The applicant must submit one copy of the application and supporting materials and an electronic file of the entire application. Material samples may be brought to the meeting.

## 2.7 Project Review

### 2.7.1 Informal Advice and Direction

An individual considering a development may consult with City planning staff for informal advice and direction. Such discussion is treated as *advisory only* and any advice given is intended as guidance and is not binding upon the Committee or City of Whitefish. City staff may perform an informal review if an individual submits materials such as plans, and description of the project. The more detail provided about the project the more guidance can be given.

### 2.7.2 Pre-Application Meeting

The Committee highly recommends proponents of commercial, industrial, public and multi-family (greater than a 4-plex) attend a pre-application meeting with the Committee prior to a formal application. Other projects have the option of attending a pre-application meeting or, if planning staff considers the project significant, may require a pre-application. The Committee will not approve a project at a pre-application meeting, but will discuss broad issues such as mass, scale, size, height and neighborhood context.

Conceptual building elevations, along with an application, must be submitted. Other supporting materials for the application are not required for a pre-application meeting. Depending upon the complexity of the project, the Committee may follow-up with written comments.

### 2.7.3 Formal Application

A formal application consists of a completed Architectural Review Application along with the supporting materials and associated fee. Incomplete applications will not be brought forth to the Architectural Review Committee

until the list of items below is provided. A minimum scale of one-eighth inch for plans and elevations is required.

Supporting materials include:

- Site plan including pedestrian, bicycle and vehicular access
- Vicinity map
- Landscaping concept plan
- Signage concept plan and materials
- Parking plan
- Elevations including the existing building if a remodel or addition is proposed
- Schematic floor plans
- Detailed architectural drawings showing building materials and their location on the building and relevant details
- Details of exterior lighting, windows, doors and any exterior features
- Samples or details of all materials proposed for the exterior of the building, including color chips, are required
- A model, 3-D rendering or perspective drawing showing materials and color designations
- Contextual analysis of how the building

relates to the neighborhood which could include photos, site sections, or other visual details

- Any other materials to further explain the building and site in support of its design concept. This may include attendance of your design professional

The more detail provided in support of an application, the greater likelihood of a quicker and smoother decision-making process. Incomplete applications may be delayed until the next meeting to collect omitted material.

In addition to those supporting materials supplied at the time of application, new projects with a building footprint of 10,000 square feet (7,500 square feet in the Old Town Districts) or greater must provide a mock-up for review and approval on-site prior to material installation. In addition, the Committee, at its discretion, may require a mock-up as a condition of approval of any project where materials submitted during the formal application period are deemed to require detailing review.



# MOCK-UP INSTALLATION REQUIREMENTS

The purpose of a mock-up is to provide visual confirmation of the design intent not otherwise portrayed at the time of formal application.

## Requirements.

A mock-up must accurately represent the applicant's final material selections, the material installations and shall include the following information:

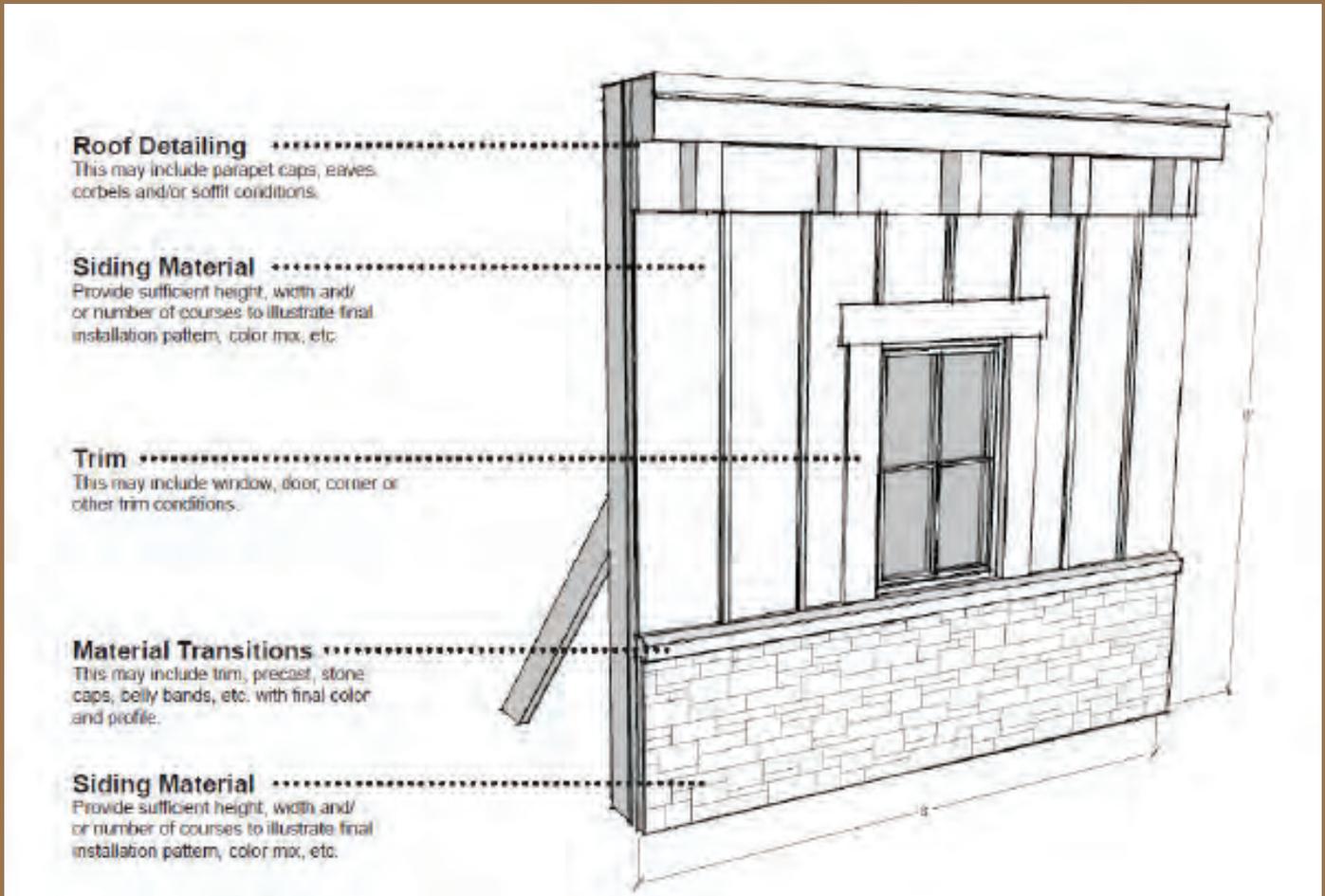
- Size – The dimensions are not stipulated but should be adequate to show the details of the materials – 8-feet x 8-feet is typical.
- Materials – Show all typical construction on the building façade, including but not limited to primary siding materials, siding transitions, trim, exposed flashings, typical fenestration, eave, canopy or other major appurtenance detailing. Full-scale materials should be provided where feasible.
- Detailing – Accurate representations of transitions between materials must be provided.
- Color – Accurate color with variation patterns such as variegated brick or stone must be shown.

## Scheduling for Review.

The applicant is responsible for scheduling Committee review of the mock-up during the time of construction on-site but must be prior to exterior materials installation. The review will occur with a quorum of the Committee and City staff.

## Committee Review.

In accordance with Section 2.7.5. Committee Review, the Committee must approve, table or deny the mock-up. If the mock-up matches the formal application, review must be reasonably limited to color, detailing and information not otherwise supplied during initial approval. Substitutions of materials made after formal application and project approval must be reviewed during a Committee meeting as an amendment to the original application and not during the mock-up review. Partial mock-up approvals may be considered by the Committee in order to allow construction to continue. Those items tabled or denied must not be installed until final approval is provided.



## 2.8 Committee Review

The Committee will review each project based on the adopted standards using the Project Review Checklist:

- ✓ Design Fundamentals
- ✓ Broad Design Principles
- ✓ Site and Landscape Plans
- ✓ Building Material Selection and Application
- ✓ Design Details
- ✓ Colors
- ✓ Lighting
- ✓ Accessories

The purpose of the Project Review Checklist is to look at projects from the broader design standards down to the smaller details. If the Committee finds items in one category are not met, discussion in the next category may not occur until the larger issues can be resolved to the satisfaction of the Committee.

Design fundamentals include issues surrounding the basic requirements within the Standards, such as which area of town the project is located. Is the project proposing a garage forward design? Does the project contain more than one multi-family structure? What are the proposed materials and colors? How does the design solution respond to the neighborhood context, environment, history and future?

Principles of good design are the cornerstone to a vibrant, functional, and pleasing community. Projects should exhibit an understanding of procession, entry, form, space, mass, scale, hierarchy, proportion, circulation, rhythm, order, and simplicity.

Good design is cohesive and thought through prior to submittal without key components being deferred to being resolved in the field.

The Committee will come to one of the following decisions at the time of the meeting:

- Approval (with or without minor conditions),
- Table, pending submission of revisions or additional materials detailed at the meeting, or
- Denial

The Committee's written decisions will follow within ten business days of the decision along with findings of fact supporting the decision.

## 2.9 Expiration

Once a project receives Architectural Review approval, it will be valid for 18 months. A building permit must be submitted to the City before the expiration date. The zoning administrator may grant one 6-month extension provided the applicant can demonstrate progress is being made on the project.

## 2.10 Re-Submittal of Application or Changes to an Approved Submittal

Minor amendments to an approved plan will be scheduled before the Architectural Review Committee. No additional fee will be required for this review. The applicant will be notified of the Committee's decision at the meeting and in writing after the meeting. A minor amendment is a cosmetic or aesthetic change including, but not limited to, color and material changes.

Major amendments to an approved plan, as determined by the Planning Director or designee, must be re-submitted as a Formal Application and a new review fee paid. A major amendment is a significant change including, but not limited to, a change to the site plan, the building footprint, the mass or scale of the structure.

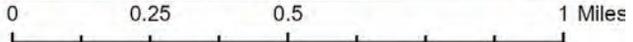
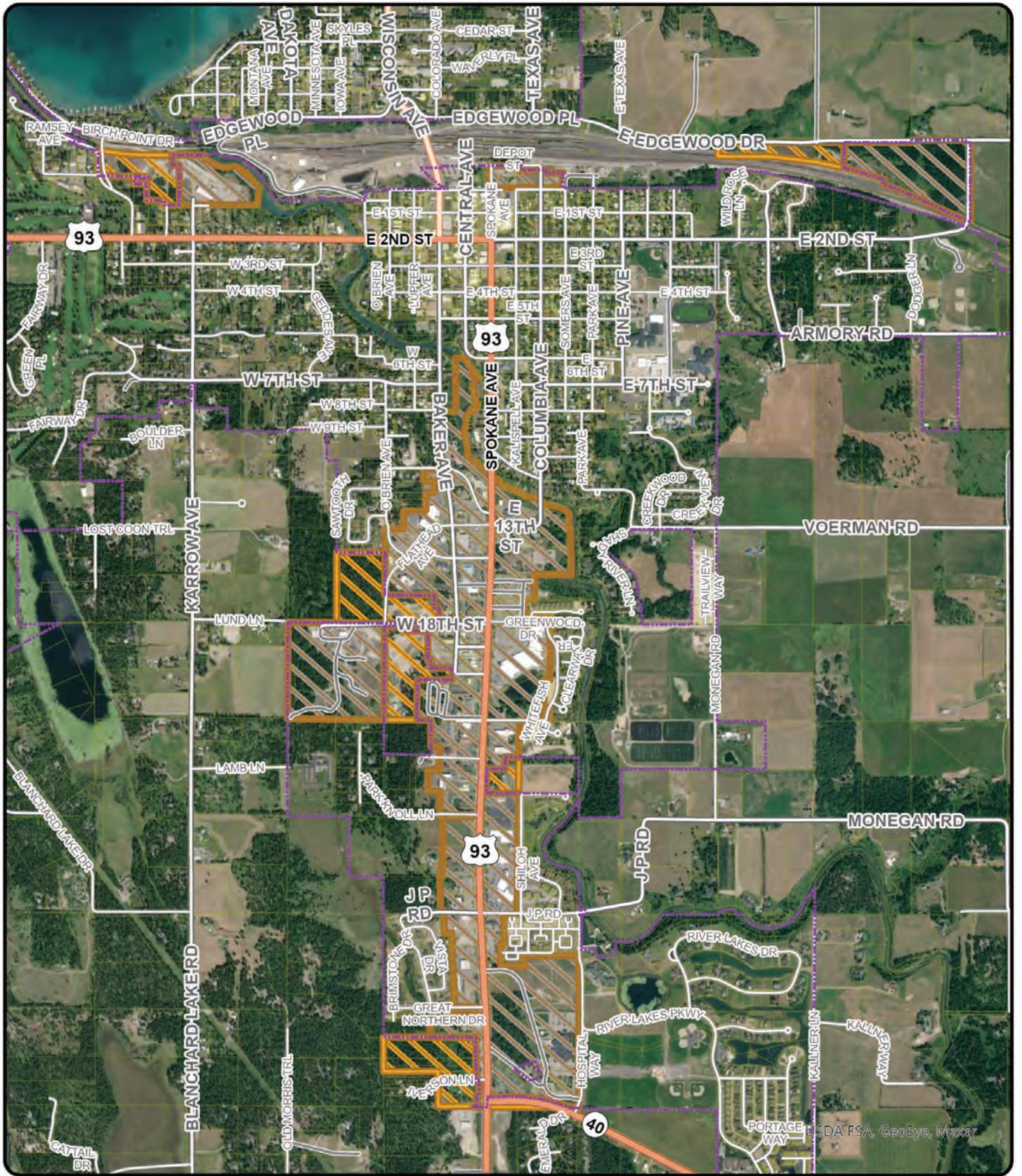
## 2.11 Right of Appeal

Within 30 days of the Committee's issuance of its written decision, the applicant may appeal that decision. An appeal must be in writing and submitted to the Whitefish City Council in care of the Whitefish Planning Director or designee.

The appeal must itemize each part of the Committee's decision the applicant disagrees with and provide a factual and/or legal basis for each contention.

The Whitefish City Council will consider any formal appeal within 30 days of receipt at the Whitefish Planning & Building Department. No building permit will be issued pending an appeal. Final Committee action will occur after the City Council makes its decision on the appeal, or after any reconsideration necessitated by that decision.





**Architectural Design Districts**

- Highway District
- Highway District County

Whitefish City Limits



Date: 9/8/2020

# HIGHWAY DISTRICT

## Chapter 3

The Highway District is located along Highway 93 South from the Whitefish River to the intersection with Montana Highway 40 and is zoned WB-2: Secondary Business District, WI: Industrial and Warehousing District and WB-4: Business Park District. This area is the gateway into Whitefish. The character of this area is retail, office and light industrial uses on large lots. This area has evolved into an area predominately serving the automobile while providing limited opportunities for users of other modes of transportation such as bicyclists and pedestrians; however, this trend is changing with the installation of sidewalks and bike paths along the Whitefish River. This area typically has a need for large display, storage and/or parking areas. Areas zoned for Industrial uses will be reviewed under this design district section. In addition to these standards, the Mixed-Use and Non-Residential Building Development Standards (§11-3-43, WCC) apply.

### GOALS:

- The Highway District is the first impression many people have of our community. Site design should include inviting features such as boulevards and well-dispersed landscaping throughout parking areas.

- Create a soft welcoming entry into our City and minimize parking lot impacts. Try to design commercial development into village-type units limiting the vast expanse of unbroken facades. The use of green belts and vegetation should be used to soften these environments. This may include design of small pocket parks to encourage employees and the community to embrace the outdoor environment.
- Orient buildings toward public streets.
- Parking lots will be located to the side and rear of lots with smaller “village-type” complexes abutting the highway.
- The site design should work to buffer parking lots from neighboring properties; earth berms and hedges are useful tools in achieving this goal.
- Infill and adaptive reuse projects are encouraged and shall complement the characteristics of the existing buildings built in the District since the adoption of the Standards in 2003.

*The Highway District will continue to develop as an area with larger retail and services geared toward the day-to-day needs of residents and visitors of Whitefish. In addition to automobiles, sites within this area will take into consideration pedestrians and bicyclists. Sites will have significant landscaping to bring balance to larger buildings and parking areas of this district. The buildings may be larger than those found in other areas of the community but will continue to reflect a small-town scale.*



*Outdoor Space for Patrons*



*Covered Bike Parking*

### 3.1 Site Design Standards

3.1.1 Buildings must be arranged on the site so their orientation frames, encloses or otherwise gives prominence to a pedestrian corridor, an outdoor gathering space with outdoor seating, a “main street” pedestrian or vehicle access corridor within the site or the corners of the street intersections or entry points into the development.

3.1.2 Buildings on corner lots should be oriented toward the primary intersection and the primary and secondary street frontage, while parking and auto access must be located away from the primary intersection corners. The use of corner entrances, plazas, signage and/or landscaping is encouraged to accentuate corner sites.

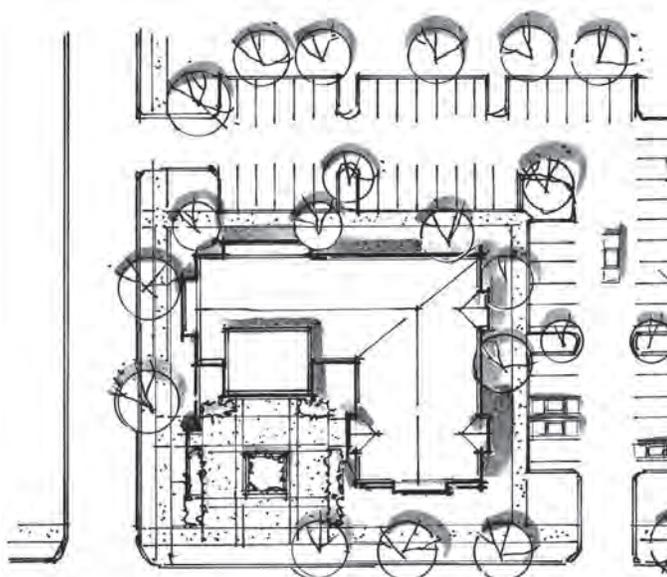
3.1.3 Where buildings are separated from the public sidewalk along the primary street frontage, the space should contain public and pedestrian amenities. Buildings may be separated from the sidewalk by plazas, landscaping, benches, bicycle racks, trash receptacles and other pedestrian amenities.

3.1.4 The layout of the site must consider pedestrians and bicyclists, as well as automobile traffic. Pedestrian access from adjacent sidewalks must have priority over vehicular traffic. Consider protection from the weather.

Consider how a pedestrian or a bicyclist would access the proposed site. Mixing nonmotorized transportation in the same spaces as automobile traffic can be a very unpleasant experience for both pedestrians and bicyclists. Consider alternate and/or separate routes into the development that clearly define the pedestrian area versus areas for vehicles.

3.1.5 Minimize the dominance of parking surfaces and structures. Use green spaces to soften the “sea of asphalt” which often dominates commercial “strip” development. A close review of the City’s landscaping ordinance is highly recommended. Consider building orientation and its relationship to the entire site.

3.1.6 All new development must invite pedestrian access. Thoughtful site layout and the use of “green open space” should be included in all site planning. The front door/main entrance to a development must be easy to identify to the pedestrian and the buildings must be oriented toward the primary street



*Parking to Side and Rear of Project*

front and public path and/or sidewalks. This may include providing a direct access from a public sidewalk to the front entrance.

3.1.7 Make site more appealing to pedestrian and bicycle traffic and use. Thoughtful application of design principles and space planning can make a site more pleasant to view and a better safer place to be. The use of courtyards, decks, traditional front porches and bicycle amenities are design tools to accomplish this goal. Provide bicycle parking areas. Consider protection from the weather.

3.1.8 Fencing should be of a natural material. The use of chain link and vinyl should be avoided but may be considered by the Committee.

3.1.9 Site design must consider the seasonal nature of the Whitefish climate allowing for summer enjoyment and snow storage in the winter. Also, consider southern exposure, energy costs and impact of shadows on adjacent properties.

3.1.10 Promote safe ingress and egress. Consolidate site access to public rights-of-way to reduce congestion and the need for endless stoplights. The City seeks to promote shared access where possible. Provide cross-property easements to share driveways and reduce the need for additional curb cuts, when feasible. (§11-3-43E(5), WCC)

## 3.2 Landscaping Design Standards

Goal: Considerable investment has occurred along Highway 93 South to create an entrance into our community. It is expected those developing property in these areas will recognize this investment and meet or exceed this landscaping standard. Thoughtfully designed landscaping will contribute to a pleasing character for the development and Whitefish. Landscaping should not be used just as a visual screen but should also encourage a sense of place and connection to the environment.

Standards:

3.2.1 Preserve and maintain mature trees and existing vegetation as much as practical.

3.2.2 A thoughtful selection of appropriate vegetation and landscaping materials. The designer should carefully select hardy vegetation and materials to survive our harsh

climate; while also accentuating the natural beauty of our community. Use native, drought-resistant species and plants requiring low amounts of water, chemicals and fertilizers.

3.2.3 Landscaped areas must be planned as an integral part of the project, rather than simply located in the left-over spaces on the site.

3.2.4 Landscaping should complement the architecture of the project and adjacent buildings.

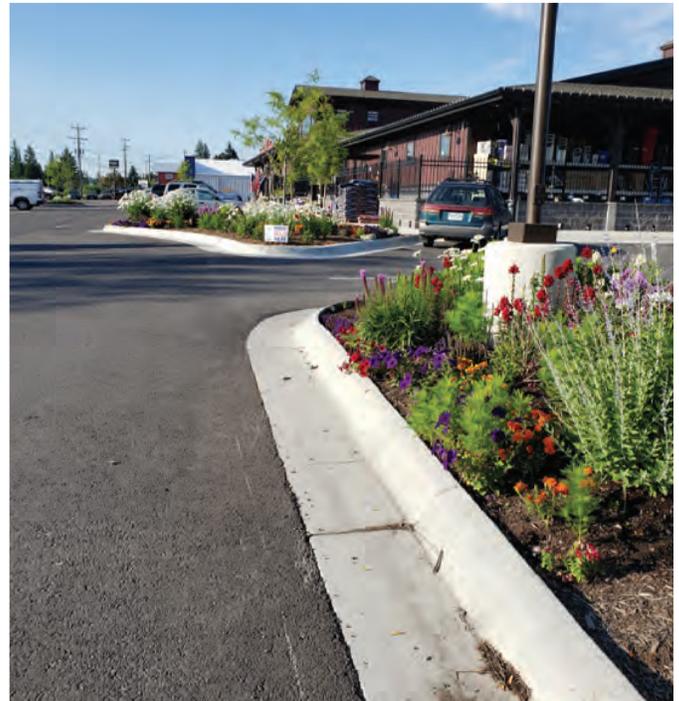
3.2.5 Landscaping (along with the location of the building) should soften the appearance of the site as seen from the roadway.

3.2.6 It is beneficial and attractive to incorporate outside seating areas in the landscaping plan.

3.2.7 In a landscape plan, attention should be paid to the plant material's color and texture to create unity on the site. Simple masses of material with one predominant species provide unity, while accent plantings provide attractive contrasts.

3.2.8 Species should be planted which are suitable to the space they will occupy when they have achieved their full growth. This includes understanding the growth of species root mass and their effect on sidewalks, utilities and building foundations.

3.2.9 Plants with multi-season interest provide color and interest throughout the year.



*Thoughtful Parking Lot Landscaping*

3.2.10 Plazas and malls should be planted to reflect an informal place suited to pedestrian scale. Variety and color are encouraged.

3.2.11 Landscaping and earthen berms or sight obscuring fencings must be used to screen equipment, refuse areas and storage areas. It is better to mass plant material in groups rather than locate them in a straight line which tends to look unnatural, except when required to provide a landscape buffer as defined in the Landscape Requirements. (§11-4, WCC)

3.2.12 The landscaping depicted on renderings/perspectives should be a realistic interpretation of what will be installed at the time of planting.

3.2.13 Provide uniform planting of required street trees.

3.2.14 The final landscape, irrigation and tree preservation techniques shall be reviewed and approved by staff prior to issuance of a building permit.

Note: See Whitefish Zoning Regulations for the Landscaping requirements. (§11-4, WCC)

## 3.3 Off-Street Parking Design Standards

Goal: Parking lots in Whitefish will be designed as a necessary appurtenance of a site and not the primary visual emphasis. Parking must be located to the side and/or rear of a building.

Standards:

3.3.1 The use of large parking lots as the primary feature at the entrances of businesses is not allowed.

3.3.2 Parking must be distributed throughout the site and located to the side and rear of the building. No parking may be located between the buildings and the primary street frontage. Parking lot design should consider a southern aspect to reduce the accumulation of ice during the winter and allow for natural melting.

3.3.3 Parking lots shall be designed to consider all users and not only automobiles. The development must minimize the impact of parking on the building's relationship to the street and pedestrian-oriented character and character of the neighborhood. Secure, well-lit and convenient bicycle parking and storage must be provided.

3.3.4 The use of side streets for the primary entrance is required when feasible to promote safe ingress and egress, and to prevent the location of parking lots along the primary traffic artery. Provide cross-property easements to share driveways and reduce the need for additional curb cuts, when feasible. At a minimum, a pedestrian connection between



*Parking to Side of Project*



*Parking to Rear of Project*

parking lots between developments must be explored. An automobile connection between parking lots must also be provided where physically possible.

3.3.5 Parking areas shall be designed to minimize the lot's visual impact, thus creating an architectural form instead of a wasteland.

3.3.6 Parking structures built below grade are desirable because they less obvious to passers-by, and are easier to screen with landscaping.

3.3.7 Soften large parking areas with landscaping, earthen berms and pedestrian friendly features.

3.3.8 The amount of unrelieved pavement on parking lots shall be limited by methods such as use of landscaping, contrasting colors, and pathways of alternate paving material.

3.3.9 Landscaping treatments of parking lots should include trees both on the perimeter and interior of the lots.

3.3.10 Trees in parking lots should be protected from vehicle damage by concrete curbing or other effective means and must provide an adequate root zone uncompacted by vehicular traffic. In high traffic areas, the use of subsurface tree root protection is recommended.

Note: See Whitefish Zoning Regulations for the Off-Street Parking requirements. (§11-6, WCC)

## 3.4 Exterior Lighting Design Standards

Although there are many needs for lighting in our built environments, obtrusive aspects of lighting often extend well beyond the boundaries of the area in which the lighting is installed and intended for use. These obtrusive aspects, such as glare, light trespass, energy waste and sky glow, can have serious consequences for the public health, safety, and welfare. They can be effectively controlled or eliminated with carefully considered attention to design, installation, and use.

Goal: To provide thoughtfully designed outdoor lighting adequate to promote safety and security.

Standards:

3.4.1 All outdoor lighting must be carefully designed to light only the area needed for reasonable levels of safety and security. Seek to eliminate as much outdoor lighting as possible.

3.4.2 Light placement must avoid placing glare on neighboring properties. Every attempt should be made to consider the impacts the additional lighting will have on the surrounding environment

3.4.3 Where appropriate, the use of ground lighting should be considered. Consolidate exterior lighting and minimize the height and projection of the lamps where possible.

3.4.4 Building Lighting

a) Exterior lighting shall be architecturally integrated with the building style, material and colors.

b) Exterior lighting may be mounted flush or projected from the building wall.

c) Neon, bright colors or flashing lights are not acceptable building lighting and are not permitted.



*Acceptable Painted Pole Base Complementing the Business*



*New Commercial is a Similar Scale to Residential Structure Behind*

#### 3.4.5 Site Lighting

a) The design of the site lighting should complement the architectural features of the building. Consider the use of the standard City streetlights; however, the use of other lights may be considered by the Committee.

b) Fixture mounting height should be appropriate for the project and the setting. Use of low, bollard-type fixtures, 3 to 4-feet in height, are encouraged as pedestrian area lighting.

c) Raised light pole bases shall be attractively designed and well detailed to be compatible with the overall project. The use of “sonotube” (exposed concrete) bases is discouraged. These foundations, if used, need to be treated in some fashion to cover the exposed concrete.

d) The placement of light poles within raised curb planter areas is encouraged; however, conflicts with parking lot trees which can obscure the lighting should be avoided

e) Swivel-mounted luminaries are prohibited.

Note: See Whitefish Zoning Regulations for the Outdoor Lighting Standards. (§11-3-25, WCC)

### 3.5 Building Design Standards

All building designs should be a positive complementary enhancement to the existing architecture, quality of life and character of the Whitefish community and particularly the Highway District. The positive enhancement should be reflected in the design elements of the project. These design elements are both aesthetic and practical and include: 1) scale, character and relationship to surrounding neighborhood 2) shape and form; and 3) exterior materials. Due to their massiveness, buildings greater than 10,000 square feet have

additional design standards found in Section 3.9. Also, businesses considered formula retail (also known as franchise businesses) may not use their traditional building design or color scheme. See Section 3.10 for these Standards.

### 3.6 Scale and Relationship to Surroundings

3.6.1 All buildings must have a scale in size, height and mass that relates to the surrounding buildings and adjacent commercial development.

3.6.2 The size, height and mass must not detract from, conflict with or overwhelm the surrounding neighbors.

3.6.3 Distance from other structures and features will be considered in reviewing scale. For example, The WAVE works well at its location; however, if it were on a lot next to Valley Glass, it would be too overwhelming.

3.6.4 Building site placement and size should minimize obstruction of views to the mountains and river.

3.6.5 Mixed-Use of Non-Residential Development Adjacent to Residential Zones. Buildings must be designed to ensure building massing, height and scale provide sensitive transition to adjoining residential neighborhoods. When abutting a residential zoning district, the project’s landscaping plan must include provisions for vegetative screening between the project and the residential property.

New developments adjacent to residential areas must mitigate impact through careful site planning and architectural design. Possible mitigation techniques include, but are not limited to:

- Locating open space and preserving existing

### Complementary Scale



vegetation on the site's edges to further separate the building from less intensive uses

- Stepping down the massing of the building along the site's edges
- Limiting the length of or articulating building façade to reflect adjacent residential patterns
- Creative use and ongoing maintenance of landscaping such as berms, buffers, mounds, rockeries, living fences and swales designed to avoid the appearance of a straight line of "wall" or uniform plant material and must be wide enough to accommodate the mature plants

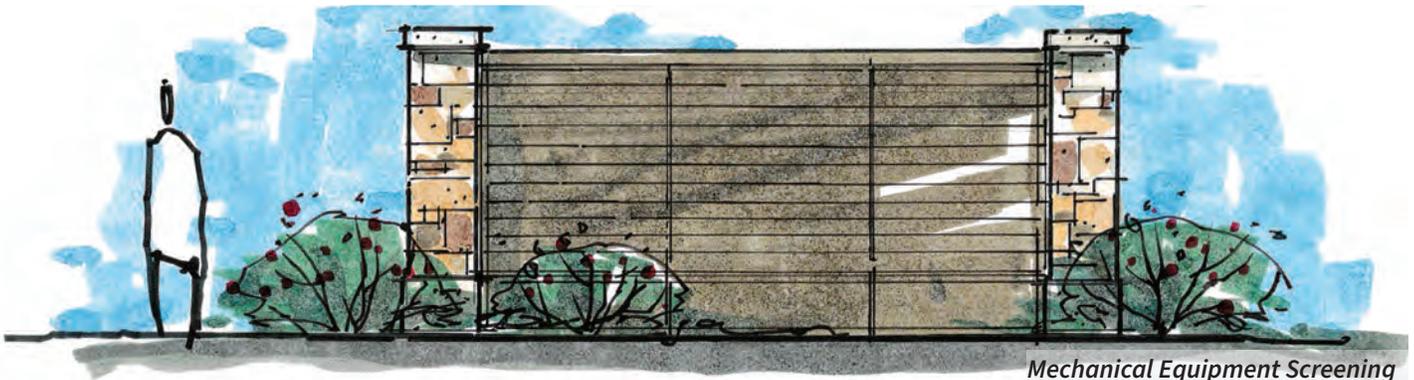
### 3.6.6 Multiple Building Projects

a) Buildings must exhibit a general similarity of scale, orientation, and proportion with unified natural and built features. As a rule, taller buildings must be placed toward the interior of the site and stepped back from the street. Buildings must be grouped or sited with other buildings to create distinct outdoor spaces, with distinct pedestrian connections between the buildings, parking and the street. Sites must connect to natural corridors and trail systems and must facilitate pedestrian and bicycle traffic.

b) Projects with multiple buildings to be built in phases on one site must include design information for each building. Initial buildings must meet all the requirements of the Architectural Review Standards. Information on buildings to be built in the future must include an entire site development narrative with a site plan indicating buildings, locations, access for parking and pedestrians, general landscaping and concept of building sizes, shapes, materials and colors.

## 3.7 Shape and Form

All buildings shall have a shape and form regarding rooflines and massing that relates to the nearby buildings compliant with the Architectural Design Standards. Rooflines should be pitched, pitched with false fronts, flat, flat with false fronts, and shed with false fronts, hipped, gable or gambrel. Overhanging eaves are encouraged. Flat roofs shall have parapets.



Mechanical Equipment Screening

3.7.1 All remote mechanical and electrical equipment (condensers, chillers, intake/exhaust fans, cabinets, etc.) regardless of horsepower, must be enclosed within sound absorptive walls, as permitted by the Building Code. These areas shall be located and screened so the visual and acoustic impacts of these functions are fully contained and out of view. Enclosures shall be reviewed by the Committee where applicable and the acoustic design will be reviewed and approved at the time of plan examination by the Building Department.

3.7.2 Buildings in this area are unique as they are set back a minimum of 20-feet from the property line. These buildings are on larger lots than downtown, and usually require large display or parking areas. Because of these conditions, these buildings are usually larger than those downtown. In order to maintain an aesthetic quality compatible with Whitefish, structures must be designed to minimize the massing of the building. This can be accomplished by breaking up large expansive walls and rooflines by adding dormers, recessed wall lines and varied roof heights.

3.7.3 Upper story windows should maintain the same vertical characteristic as downtown.

3.7.4 Store fronts must be aesthetically pleasing with covered entryways, walkways, outdoor courtyards and sitting areas.

3.7.5 Buildings must have roof designs that do not cause snow or drainage problems for themselves or adjacent buildings and sites.

3.7.6 When the backsides of buildings face a street (as on Baker Avenue) they must be aesthetically developed. Large blank walls with no detail are not acceptable.

3.7.7 Upper story balconies are encouraged.

## 3.8 Exterior Materials

3.8.1 Exterior finish building materials shall be of a nature in color and texture complementary with the structures within each building district. They shall not clash, detract or conflict with adjacent buildings compliant with the Architectural Design Standards .

3.8.2 Acceptable exterior cladding materials should include properly scaled brick, 1x4, 1x6 or 1x8 horizontal natural wood siding, sawn shingles, 1x6 or 1x8 vertical channel natural siding, 1x8 to 1x12 vertical board and batten natural wood siding with 1x2 batts, natural stone veneers, and stucco with wood trim. Other fire resistant and ecological friendly materials may be considered.

3.8.3 Wood shingles, vertical wood siding and boards with batts are acceptable in gables and upper portions of walls.

3.8.4 Exposed plain concrete block or vinyl cladding are not allowed. Metal siding, Exterior Insulation Finish System (EIFS), composite siding and stone panels are discouraged but may be used at the discretion of the Committee.

3.8.5 Acceptable roofing materials shall be asphalt composition shingles, metal, or appropriate flat roofing. Other technologically advanced products such as solar roof tiles are encouraged.

3.8.6 Roofing shall be of colors that complement neighboring structures.

3.8.7 Mirrored and tinted glazing is not allowed. Low-E glass is acceptable. Vision glass on

*Commercial Village*



*4-Sided Architecture*



building sides facing streets is encouraged.

3.8.8 Exterior classic details and elements such as brackets, cornices, window trim, and wall corner boards are encouraged.

3.8.9 Higher quality and easily maintained materials are strongly recommended.

### 3.9 Commercial Design Standards for Buildings 10,000 Square Feet or Greater

As Whitefish is generally characterized by buildings small in scale; buildings with a footprint of 10,000 square feet or greater require an extra level of review to ensure they fit into the community. Additional site and design components will be required as part of the overall design of the site.

#### 3.9.1 Site Design Standards

##### a) Landscaping.

The parking lot landscaping requirements shall be twice the amount required under §11-6-5, WCC.

##### b) Pedestrian and Bicycle Amenities.

**Pedestrian Lanes Required.** Walkways shall be integrated into the design of the site. The location of the walkways must maximize the ability of a pedestrian to safely maneuver through the parking lot by serving the greatest number of parking spaces and walking to adjacent land uses. Their location must consider adjoining properties, and the location

of transit/Shuttle Network of Whitefish (SNOW) Bus stops. At a minimum, the pedestrian lane must connect the building with the parking lot and the street.

Connections shall be separated from the parking lots and drive aisles by grade, landscaping or other techniques and shall be a minimum of 6-feet wide. Such connections shall continue across driving lanes by use of a material other than asphalt. Acceptable material choices include concrete or colored concrete with textures imbedded into the concrete. Painted stripes are not acceptable.

Every parking lot must have at least one pedestrian lane. Additional pedestrian lanes must be provided at a ratio of one lane per four rows of parking.

**Bicycle Parking Required.** A bicycle rack shall be provided with a minimum of four parking stalls. Bicycle facilities should be shared among adjoining establishments. Bicycle racks which only support a bicycle front or rear wheel are not permitted. The rack must be securely mounted to the ground and covered. Bicycle parking spaces should be 2-feet by 6-feet with no less than a 7-foot overhead and a 5-foot maneuvering aisle behind each row of bicycle parking. A bicycle parking area should be separated from a motor vehicle parking area by a barrier, post or bollard, or by at least 5-feet of open space behind the maneuvering area. Bicycle facilities should be well-lit and located no further from a public entrance than the nearest non-handicapped parking stall. If public bicycle parking is not clearly visible from the main entrance, then directional signs should be provided.



*Big Box Building with Sidewalk Connection*

### Big Box Building with Transit Stop



#### c) Transit/Snow Bus Stops.

If a transit/SNOW Bus stop is located on the site or if there are plans to permanently establish a stop on the site (contact the SNOW Bus and Eagle Transit), the following standards shall be designed into the site:

- The plaza for the stop shall be sized to accommodate pedestrians using the sidewalk as well as those waiting for the bus and the required amenities. The plaza shall be no smaller than 200 square feet and shall be designed in contrasting materials.
- Seating for a minimum of three people shall be incorporated into the plaza. More seating may be needed based on the usage of the stop.
- Each plaza shall include a refuse container.
- Each plaza shall incorporate a shelter for skiers and a place for snowsport equipment to be secured. The shelter shall be installed and paid for by the developer. The shelter design will be determined by the City.
- Dark sky compliant lighting shall be incorporated into the transit/Snow Bus stop.
- Transit/SNOW Bus stops shall have a pedestrian connection to the main building on-site either through a sidewalk adjacent to a right of-way or through a separated pedestrian lane.
- Maintenance of the plaza shall be the

responsibility of the property owner(s).

#### d) Service, Loading, and Refuse Areas.

Service, loading and refuse areas are a required component of any building but can severely detract from the design of the building and the pedestrian experience. Service and loading areas shall not be located between the building and the street unless there is no possible alternate location. Refuse shall not be located between the front of the building and the street. In no instance shall refuse and service/loading areas be located adjacent to residentially zoned areas.

Screening of refuse containers and service areas from public view shall be required in the form of dense landscaping and/or walls constructed of a complementary color and material to the main building and shall be no less than 6-feet tall.

#### 3.9.2 Building Design

Avoid flat walls through building modulation to reduce the mass and bulk of the structure. This can be achieved by utilizing the following:

- Building setbacks on upper floor levels;
- Corners shall have special massing and architectural treatment;
- Building ornamentation;
- Varying roof lines, pitches, and shapes;
- Vertical modulation to break down the scale of large one-story;
- Overhangs, awnings and marquees;
- Dormers, balconies, porches, staircases; and/or
- Window and door fenestration.

#### a) Building Equipment.

Building equipment located on the top or sides of buildings shall be completely screened from view.

#### b) Blank Wall Limitation.

In order to reduce blank wall impacts on the pedestrian and business environment, buildings shall employ a cohesive design strategy to mitigate their appearance every 40-feet. These items may include but are not limited to recessed walls, projections, reveals, projecting ribs, windows, display cases, landscaping,

trellises, or other architectural features.

Secondary walls more than 15-feet in length without windows, entry, architectural features or modulations shall not face any street (public or private), alley or parking lot.

**c) Materials.**

Use aesthetically pleasing and compatible materials and colors. This could include brick, wood, sandstone, other native stone and tinted, textured concrete masonry units. Prohibited materials include smooth faced concrete block, concrete tilt-up and prefabricated steel panels. For larger projects, approved materials must be presented in a mock-up. See Section 2.7.3.

**d) Entryways.**

Careful consideration shall be given to the design of the entryway. Incorporated features may include canopies or porticoes, overhangs, recesses or projections; arcades, peaked roof forms; display windows and integral planters.

**e) Buildings on Corners.**

Buildings on corners shall be located as close to the right-of-way as possible in order to frame the street. Special architectural elements shall be incorporated to accentuate the building's prominent location.

## 3.10 Formula Retail Design Standards

Commercial uses meeting the zoning definition of "formula retail" (also known as franchise retail uses) are expected to minimize generic and corporate images, and express the architectural elements and forms that best express the values and heritage of the community.

3.10.1 Formula retail must not use standard corporate building shapes, forms and rooflines.

3.10.2 Formula retail color schemes are not acceptable.



*Examples Non-Standard Franchise Architecture*

# OLD TOWN DISTRICT

## Chapter 4

The Old Town District is the main downtown area of Whitefish and is zoned WB-3: General Business District. This area is the center of financial, retail, commercial, governmental, professional, institutional and cultural activities for the community. The character of the area is retail, professional office and residential uses. This area is also the focus of the Downtown Business Master Plan, which reinforces the downtown as the center of the community and identifies certain public and private investments in order to maintain the strength of the downtown. The intent of the Old Town District is to blend the existing historical feel of the area with new small professional offices and retail. In order to maintain the sense of the area as a small community within a community, the emphasis on vehicular traffic should be downplayed in design.

There are three distinct Design Districts within the Old Town District - the **Central**, **South** and **Railway** Districts.

The **Central District** is located on Central Avenue between East 4th and Depot Streets, west side of Spokane Avenue between East 4th and East 3rd Streets, both sides of Spokane Avenue from East 3rd Street to Depot Street, east side of Baker Avenue between East 4th and East 3rd Streets, both sides of Baker Avenue between East 3rd and Railway Streets. This area is the heart of the Old Town District and is characterized by 1½ to 2 story mixed-use buildings with retail on the

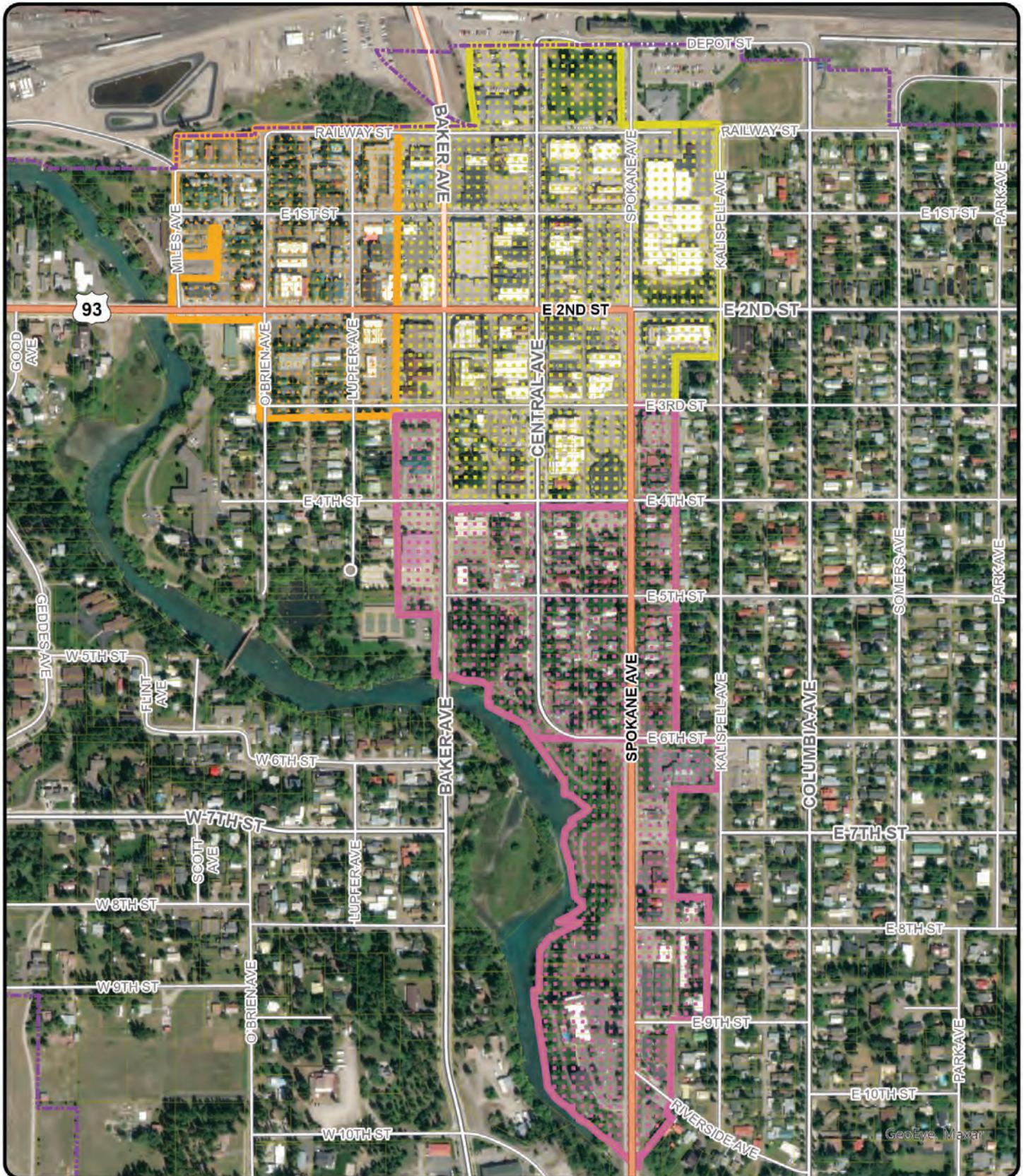
main floor and offices or residential on the 2nd story.

The **South District** is located along the east side of Spokane Avenue between East 3rd and East 4th Streets, both sides of Spokane Avenue from East 4th Street to the Whitefish River, Central Avenue between East 4th and East 7th Streets; the west side of Baker Avenue between East 3rd and East 4th Streets, and both sides of Baker Avenue from East 4th Street to the Whitefish River. Although some of this area is zoned for commercial uses, these areas were originally residential and functions as a transition from the Downtown to the Highway 93 South Corridor.

The **Railway District** is bounded by Railway Street to East 3rd Street and the east side of Miles Avenue to Lupfer Avenue. This area is characterized as historic residential with small scale buildings. The front yard setbacks are defined by the predominate front setback along the block in order to maintain the residential character of the district.

In addition, the Mixed-Use and Non-Residential Building Development Standards (§11-3-43, WCC) apply.

*The Old Town District will continue to develop in a manner respecting the mass and scale of the existing buildings, the character of the downtown and the community vision. New buildings shall respect the uniqueness of each of the distinct design districts.*

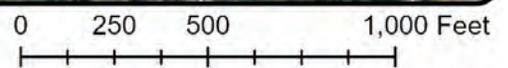


**Architectural Design Districts**

-  Old Town Central District
-  Old Town Railway District

-  Old Town South District

-  Whitefish City Limits



Date: 9/8/2020



*Corner Building*



*Outdoor Pedestrian Space*



## GOALS:

- Development must maintain a strong pedestrian scale and must focus on the people using the structure.
- Respect should be shown for the existing grid and neighborhood layout.
- New design should enhance the existing pedestrian walkways and serve to facilitate foot and bicycle traffic.
- Buildings should address the street and be designed to pull the interest of the users and act as a focal point of the greater neighborhood.
- Design attention should be paid to the pedestrian and bicycle building interface.
- The use of awnings and covered walkways are encouraged to promote year-round use.
- Alleys should be considered for primary entrances and utilized as alternate commercial spaces.
- Consider the pedestrian and cyclist as the primary user in all design. Avoid allowing the car and parking to drive design.
- Infill and adaptive reuse projects are encouraged and shall complement the characteristics of the existing buildings, including those built in the District since the adoption of the Standards in 2003.

## 4.1 Site Design Standards

4.1.1 All new development must invite pedestrian access. Thoughtful site layout and the use of “green open space” should be included in all site planning. The front door/

main entrance to a development must be easy to identify to the pedestrian and the buildings must be oriented toward the primary street front and public path and/or sidewalks. This may include providing a direct access from a public sidewalk to the front entrance.

4.1.2 Make site more appealing to pedestrian and bicycle traffic and use. Thoughtful application of design principles and space planning can make a site more pleasant to view and a better, safer place to be. The use of courtyards, decks, traditional front porches and bicycle amenities are design tools that can accomplish this goal. Consider protection from the weather.

4.1.3 Site design must consider the seasonal nature of the Whitefish climate allowing for summer enjoyment and snow storage in the winter. Also, consider southern exposure, energy costs and impact of shadows on adjacent properties.

4.1.4 Fencing should be of a natural material. The use of chain link and vinyl should be avoided but may be considered by the Committee.

## 4.2 Landscaping Design Standards

Goal: Thoughtfully designed landscaping will contribute to a pleasing character for the development and Whitefish. Landscaping should not only be used as a visual screen but should encourage a sense of place and connection to the environment. Landscaping is not required for sites in the Old Town District with buildings built lot line to lot line; however, well placed flower baskets, window boxes, hanging plants, green roofs or other opportunities for landscaping in the Old Town Central District are highly encouraged.

Standards:

4.2.1 Preserve and maintain mature trees and existing vegetation as much as practical.

4.2.2 A thoughtful selection of appropriate vegetation and landscaping materials. The designer should carefully select hardy vegetation and materials to thrive in our harsh climate, while also accentuating the natural beauty of our community. Use native, drought-resistant species and plants requiring low amounts of water, chemicals and fertilizers.

4.2.3 Landscaped areas must be planned as an integral part of the project rather than simply located in the left-over spaces on the site. For sites not required to provide landscaping, project proponents should look for opportunities to integrate landscaping in the site using planter boxes, hanging baskets or other creative means.

4.2.4 Landscaping should complement the architecture, building a cohesive relationship between the indoor and outdoor spaces.

4.2.5 It is beneficial and attractive to incorporate outside seating areas in the landscaping plan.

4.2.6 In a landscape plan, attention should be paid to the plant material's color and texture to create unity on the site. Simple masses of material with one predominant species provide unity, while accent plantings provide attractive contrasts. Smaller spaces may be enhanced by the use of more compact varieties and a mixture of textures.

4.2.7 Species should be planted which are suitable to the space they will occupy when they have achieved their full growth. This includes understanding the growth of species root mass and their effect on sidewalks, utilities and building foundations.

4.2.8 Plants with multi-season interest provide color and interest throughout the year.



*Downtown Landscaping*



4.2.9 Plazas and malls should be planted to reflect an informal place suited to pedestrian scale. Variety and color are encouraged.

4.2.10 Landscaping and sight obscuring fences must be used to screen equipment, refuse areas and storage areas. It is better to mass plant material in groups rather than locate them in a straight line which tends to look unnatural, except when required to provide a landscape buffer as defined in the Landscape Requirements. (§11-4, WCC)

4.2.11 Landscaping depicted on renderings/perspectives should be a realistic interpretation of what will be installed at the time of planting.

4.2.12 Provide uniform planting of required street trees.

4.2.13 The final landscape, irrigation and tree preservation techniques shall be reviewed and approved by staff prior to issuance of a building permit.

Note: See Whitefish Zoning Regulations for the Landscaping requirements. (§11-4, WCC)

## 4.3 Off-Street Parking Design Standards

Parking lots in the Old Town Districts are not required unless there is a residential component to the development. Off-street parking

developed on these lots will be at a much smaller scale than those found along Highway 93 South and may be designed off an alley, as opposed to the street.

Goal: Parking lots in the Old Town District will be designed to maintain the continuity of the active pedestrian streetscape.

Standards:

4.3.1 Locate a parking facility at the interior of a block and off an alley whenever possible. Parking shall be distributed throughout the site with a preference for parking to the rear of the building. Parking lots shall not be placed at corners, as these areas are generally more visible than interior lots, serve as landmarks and frame intersections. If this is the only place for parking, added pedestrian features shall be integrated into the corner such as a bench, plaza, art or an exceptional landscape feature.

4.3.2 The use of large parking lots as the primary feature at the entrances of business is not allowed. Where a parking lot abuts a public sidewalk a 5-foot wide landscaped buffer must be provided, according to the zoning, and consideration should be given to incorporating a low wall, no greater than 42-inches. Such a wall could be also be designed as seating.

4.3.3 New curb cuts and/or driveways eliminating on-street parking spaces are not allowed in the Old Town Central District and the Old Town Railway District unless there is no alley



Landscaping Along Parking Lot

access available. Restricting parking access on streets important for commercial retail reduces the impact of automobiles, improves auto circulation, preserves on-street parking and creates a more pleasant environment for pedestrians.

4.3.4 The use of side streets for the primary entrance is required when feasible to promote safe ingress and egress, and to prevent the location of parking lots along the primary traffic artery. Provide cross-property easements to share driveways and reduce the need for additional curb cuts, when feasible. Parking lot design should consider a southern aspect to reduce the accumulation of ice during the winter and allow for natural melting.

4.3.5 Parking structures built below grade are desirable because they less obvious to passers-by, and are easier to screen with landscaping.

4.3.6 Soften parking areas with landscaping, earthen berms and pedestrian friendly features.

4.3.7 The amount of unrelieved pavement on parking lots shall be limited by methods such as the use of landscaping, contrasting colors, and pathways of alternate paving material.

4.3.8 Landscaping treatments of parking lots should include trees both on the perimeter and interior of the lots.

4.3.9 Trees in parking lots shall be protected from vehicle damage by concrete curbing or other effective means and must provide an adequate root zone uncompacted by vehicular traffic. In high traffic areas, the use of subsurface tree root protection is recommended.

Note: See Whitefish Zoning Regulations for the Off-Street Parking requirements. (§11-5, WCC)

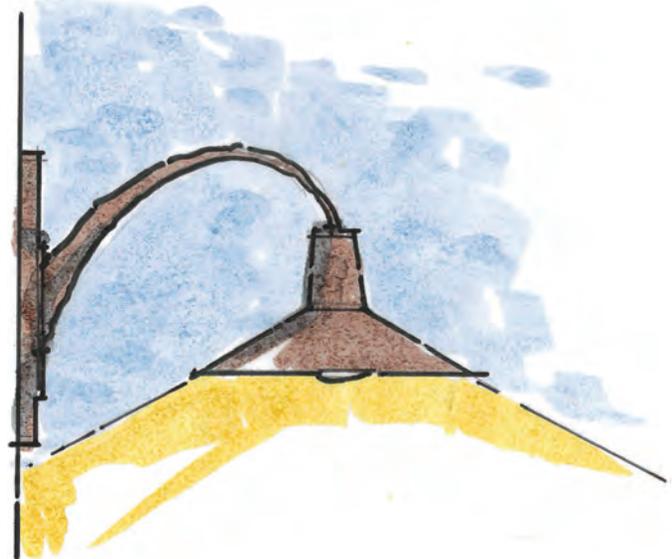
## 4.4 Exterior Lighting Design Standards

Although there are many needs for lighting in our built environments, obtrusive aspects of lighting often extend well beyond the boundaries of the area in which the lighting is installed and intended for use. These obtrusive aspects, such as glare, light trespass, energy waste and sky glow, can have serious consequences for the public health, safety, and welfare. They can be effectively controlled or eliminated with carefully considered attention to design, installation, and use.



*Outdoor Pedestrian Space*

*Dark Sky Lighting*



Goal: To provide thoughtfully designed outdoor lighting adequate to promote safety and security.

Standards:

4.4.1 All outdoor lighting must be carefully designed to light only the area needed for reasonable levels of safety and security. Seek to eliminate as much outdoor lighting as possible.

4.4.2 Light placement must avoid placing glare on neighboring properties. Every attempt should be made to consider the impacts the additional lighting will have on the surrounding environment

4.4.3 Where appropriate, the use of ground lighting should be considered. Consolidate exterior lighting and minimize the height and projection of the lamps where possible.

4.4.4 Building Lighting

a) Exterior lighting shall be architecturally integrated with the building style, material and colors.

b) Exterior lighting may be mounted flush or projected from the building wall.

c) Neon, bright colors or flashing lights are not acceptable building lighting and are not permitted.

d) Awnings in the Central District shall be lit underneath to ensure adequate light on the sidewalks, but the awnings must not be internally illuminated.

4.4.5 Site Lighting

a) The design of the site lighting should complement the architectural features of the building. Consider the use of the standard City streetlights; however, the use of other lights may be considered by the Committee.

b) Fixture mounting height should be appropriate for the project and the setting. Use of low, bollard-type fixtures, 3 to 4-feet in height, are encouraged as pedestrian area lighting.

c) Raised light pole bases shall be attractively designed and well detailed to be compatible with the overall project. The use of "sonotube" (exposed concrete) bases is discouraged. These foundations, if used, need to be treated in some fashion to cover the exposed concrete.

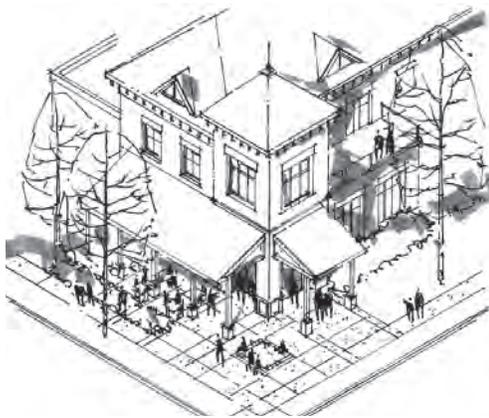
d) The placement of light poles within raised curb planter areas is encouraged; however,



*Dark Sky Lighting*



**New Buildings Complementing Existing Buildings:**



conflicts with parking lot trees which can obscure the lighting should be avoided

e) Swivel-mounted luminaires are prohibited.

Note: See Whitefish Zoning Regulations for the Outdoor Lighting Standards. (§11-3-25, WCC)

## 4.5 Building Design Standards

All building project designs should be a positive complementary enhancement to the existing architecture, quality of life and character of the Whitefish community and particularly the Old Town District. The positive enhancement should be reflected in the design elements of the project. These design elements are both aesthetic and practical and shall include: 1) scale, character and relationship to surrounding neighborhood; 2) shape and form; and 3) exterior materials; color and texture.

## 4.6 Scale and Relationship to Surroundings

4.6.1 All buildings must have a scale in size, height and mass that relates to the surrounding buildings and adjacent commercial development.

4.6.2 The size, height and mass must not detract from, conflict with or overwhelm the surrounding neighbors.

4.6.3 Distance from other structures and features will be considered in reviewing scale. For example, the existing railroad station works well at its location; however, if it were on a lot next to the library, it would overwhelm the library.

4.6.4 Building site placement and size should minimize obstruction of views to mountains, Whitefish River, and Whitefish Lake.

4.6.5 Mixed-Use of Non-Residential Development Adjacent to Residential Zones. Buildings must be designed to ensure building massing, height and scale provide sensitive transition to adjoining residential neighborhoods. When abutting a residential zoning district, the project's landscaping plan must include provisions for vegetative screening between the project and the residential property.

New developments adjacent to residential areas must mitigate impact through careful site planning and architectural design. Possible mitigation techniques include, but are not limited to:

- Locating open space and preserving existing vegetation on the site's edges to further separate the building from less intensive uses
- Stepping down the massing of the building along the site's edges
- Limiting the length of or articulating building façade to reflect adjacent residential patterns
- Creative use and ongoing maintenance of landscaping such as berms, buffers, mounds, rockeries, living fences and swales designed to avoid the appearance of a straight line or "wall" of uniform plant material and must be wide enough to accommodate the mature plants

#### 4.6.6 Multiple Building Projects.

a) Buildings must exhibit a general similarity of scale, orientation, and proportion with unified natural and built features. As a rule, taller buildings must be placed toward the interior of the site and stepped back from the street. Buildings must be grouped or sited with other buildings to create distinct outdoor spaces, with distinct pedestrian connections between the buildings, parking and the street. Sites must connect to natural corridors and trail systems and must facilitate pedestrian and bicycle traffic.

b) Projects with multiple buildings to be built in phases on one site must include

design information for each building. Initial buildings must meet all the requirements of the Architectural Review Standards. Information on buildings to be built in the future must include an entire site development narrative with a site plan describing buildings, locations, access for parking and pedestrians, general landscaping and concept of building sizes, shapes, materials and colors.

## 4.7 Shape and Form

All buildings shall have a shape and form regarding rooflines and massing that relates to the surrounding buildings and neighborhood. Rooflines should be pitched, pitched with false fronts, flat, flat with false fronts, and shed with false fronts, hipped, gable or gambrel. Overhanging eaves are encouraged. Flat roofs shall have parapets facing streets.

4.7.1 All remote mechanical and electrical equipment (condensers, chillers, intake/exhaust fans, cabinets, etc.) regardless of horsepower, must be enclosed within sound absorptive walls, as permitted by the Building Code. These areas shall be located and screened so the visual and acoustic impacts of these functions are fully contained and out of view. Enclosures shall be reviewed by the Committee where applicable and the acoustic design will be reviewed and approved at the time of plan examination by the Building Department.

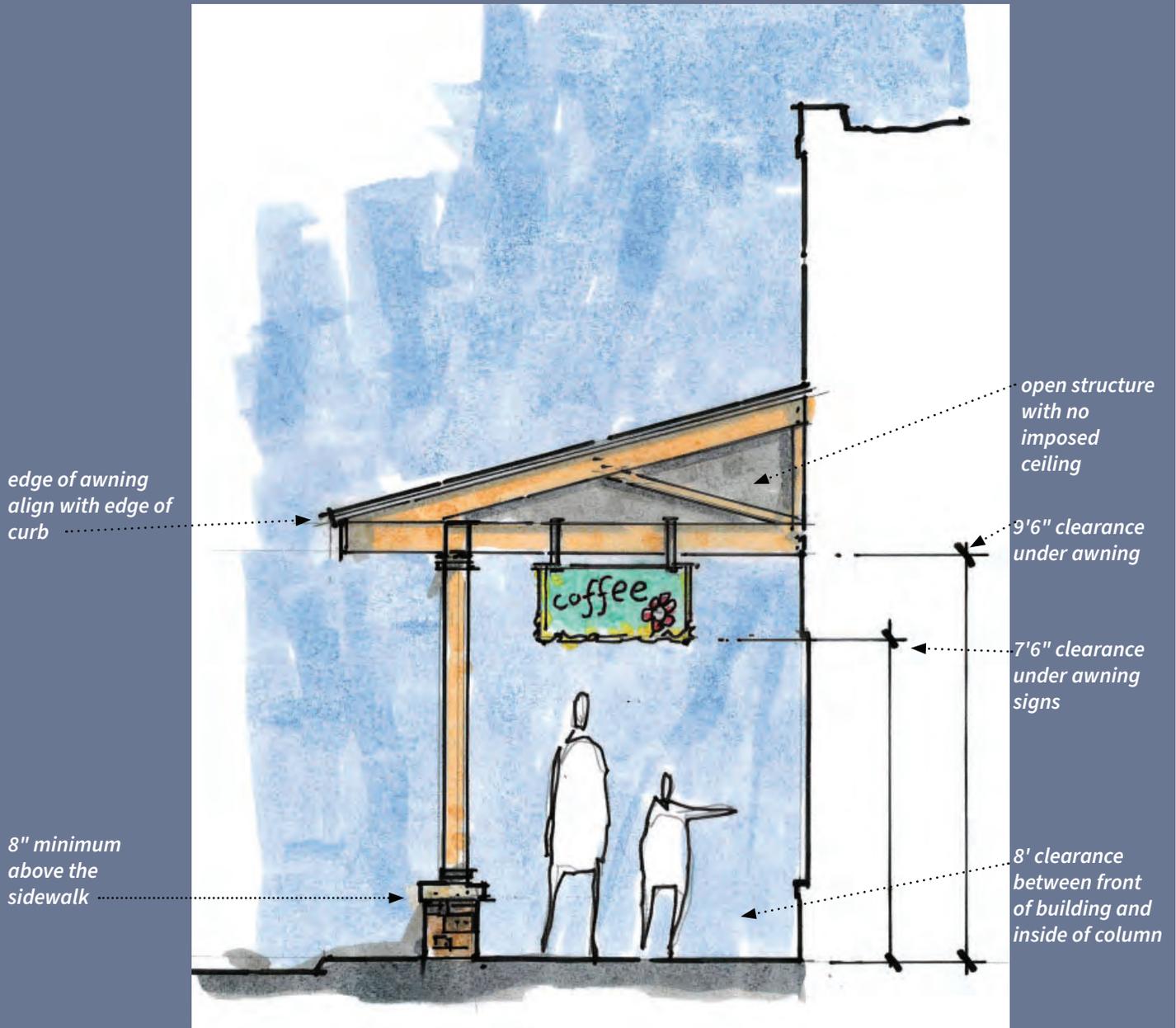


*Recessed Entryway*



*Alternative Awning Style*

## Awning Design Standards



4.7.2 Awnings over sidewalks are desirable. In neighborhoods where awnings are the norm, new construction shall conform. The objective of awnings is to create a continuous covered shopping arcade; therefore, fixed canopies and awnings are preferred. Such awnings should be constructed of wood, although fabric construction may be acceptable on certain projects. Attention to support post detail is important. The posts must be of high quality and architectural significance (nominal 6x6 or 8x8 typical) or log (6 to 10-inch diameter typical). Posts must be set on concrete or stone piers raised a minimum of 8-inches above sidewalk or grade. Post base and cap

details are required and must be presented for approval. Awnings must have an open structure with no ceilings imposed. Awning heights must be related to adjacent awnings, with a recommended minimum beam height of 9'-6" and recommended minimum clearance for hanging signs of 7'-6". Awning heights must relate to adjacent awnings and must line up with the edge of the curb toward the street, with a typical distance between columns and building walls of 8-feet. Awnings must reflect historic form and shapes.



*Recessed Entryway*



*75% Transparency*



*Alley Improvement*

## 4.8 Old Town Central District

4.8.1 Regarding shape and form, many of the original downtown façade and rooflines are examples to look toward regarding new construction in this area.

4.8.2 The buildings in this area are one and two story and create a rhythm of 25 to 50-foot width storefronts with rectangular plans unless the applicant can show an acceptable alternative. These features shall be maintained and can be achieved with exterior material application, although actual building heights are regulated per §11-2L-4, WCC.

4.8.3 New construction façades should relate to other buildings in the block with a height that falls within an acceptable historic range. As part of the submittal, the proposed building must be shown within the block of the existing buildings.

4.8.4 Although zero setbacks on the main entry facades are typical and should be maintained, recessed courtyards, porches, stoops and sitting areas will be considered on a case-by-case basis.

4.8.5 Recessed entry doors with large display windows maintain the typical Whitefish main street storefront.

4.8.6 Upper second story windows should be smaller than the main level windows and vertical in shape.

4.8.7 75% of the ground-floor lineal street frontage should have openings for doors and windows. Ground floor glazing should be clear. Non-transparent and reflective or opaque glazing is not permitted.

4.8.8 Ground floor active edges help reinforce the continuity of pedestrian-active building uses, connects street-level activity and accessibility. Buildings should be designed to accommodate single or multiple tenants. Street frontage walls shall include doors and windows or be designed so they can be added when space is converted to active building uses.

4.8.9 Buildings must have roof designs that do not cause snow and drainage problems for themselves or adjacent buildings and sites.

4.8.10 New, and when possible, remodeled buildings should have a minimum of 11-foot floor-to-ceiling heights on the ground floor to promote attractive retail spaces.

4.8.11 Alley façades are encouraged to be developed as an attractive integrated component of the building.

4.8.12 When building on corner lots, consideration should be given to corner entrances with storefront windows that extend along both street facades. Small towers or turrets above corner entrances should also be considered.



*Corner Building*



*Railway District*



*South District*

4.8.13 Second story balconies are encouraged.

4.8.14 Outdoor courtyards and sitting areas are encouraged.

## 4.9 Old Town South District

4.9.1 Although zoned for commercial, this area is designed with smaller-scale commercial buildings in keeping with original residential character.

4.9.2 New construction in this area should follow the typical rooflines that include pitched, hipped, gable and gambrel. New roof pitches should stay within the existing roof pitches of 3:12 to 12:12.

4.9.3 Use of dormers is encouraged.

4.9.4 Buildings plans should be primarily rectangular.

4.9.5 Single and 1½ story detached secondary buildings along the alley side are appropriate.

Aesthetic consideration must be given to alley side facades.

4.9.6 Covered entry porches, stoops and outdoor courtyards/sitting areas are encouraged.

## 4.10 Old Town Railway District

4.10.1 Buildings in this district must maintain the historical residential character of the area. Building roofs should pitch to the sides and not to the front or rear. This general form should remain.

4.10.2 Lots fronting on the Highway must be designed to frame the street and may not necessarily have a primarily residential character. These buildings are the gateway into the downtown and may have a traditional downtown roof design with flat roofs and parapets.

4.10.3 Front porches and stoops are required at entrances.

4.10.4 Detached garages and storage buildings of 1 and 1½ story with pitched roofs are encouraged.

4.10.5 Outdoor courtyards and sitting areas are encouraged.

4.10.5 Bay windows and flower boxes are encouraged.

## 4.11 Exterior Materials

4.11.1 Exterior finish building materials should be of a nature in color and texture complementary with the structures within each building district. They shall not clash, detract or conflict with adjacent architecture.

4.11.2 Acceptable exterior cladding materials should include properly scaled brick, 1x4, 1x6 or 1x8 horizontal natural wood siding, sawn shingles 1x6 or 1x8 vertical channel natural siding, 1x8 to 1x12 vertical board and batten natural wood siding with 1x2 batts, natural stone veneers, and stucco with wood trim. Other fire resistant and ecological friendly materials may be considered.

4.11.3 Wood shingles, vertical wood siding and boards w/ batts are acceptable in gables and upper portions of walls.

4.11.4 Exposed plain concrete block, and vinyl cladding are not allowed. Metal siding, Exterior Insulation Finish System (EIFS), composite siding and stone panels are discouraged but may be used at the discretion of the Committee.

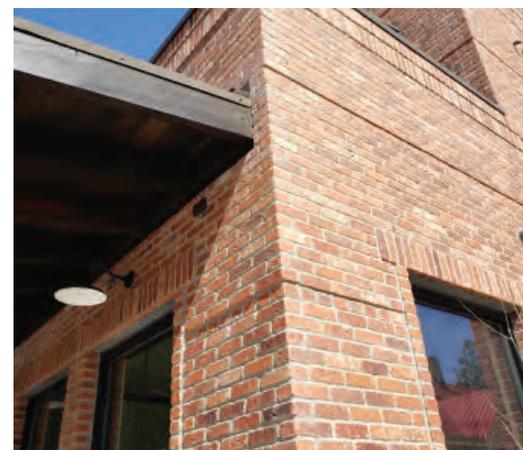
4.11.5 Acceptable roofing materials shall be asphalt composition shingles, metal, or appropriate flat roofing. Other technologically advanced products such as solar roof tiles are encouraged.

4.11.6 Roofing shall be of colors that complement neighboring structures.

4.11.7 Mirrored and tinted glazing is not allowed. Low-E glass is acceptable. Vision glass on building sides facing street is required.

4.11.8 Exterior classic details and elements such as brackets, cornices, window trim, and wall corner boards are encouraged.

4.11.9 Higher quality and easily maintained materials are strongly recommended.





# RESORT COMMUNITY BUSINESS DISTRICT

## Chapter 5

The Resort Community Business District is comprised of two corridors. One corridor is located along Wisconsin Avenue/East Lakeshore Drive from the viaduct to the north and the other is West 2nd Street from the Whitefish River to the west. Both corridors are located along state highways and have adopted corridor plans – Wisconsin Avenue Corridor Plan (2018) and the Highway 93 West Corridor Plan (2015). This District is for those areas zoned WB-1: Limited Business District, Limited Resort Business District: WRB-1, General Resort Business District: WRB-2 or with a multi-family designation that could be developed into offices (WR-3 and WR-4) along these two corridors. The character of these areas include small scale commercial and professional office uses interspersed with a variety of residential types. The Wisconsin Avenue corridor is evolving into providing resort-oriented and neighborhood services with multi-family while the West 2nd Street corridor is evolving into an area with small professional offices and multi-family. In addition to these standards, the Mixed-Use and Non-Residential Building Development Standards (§11-3-43, WCC) apply.

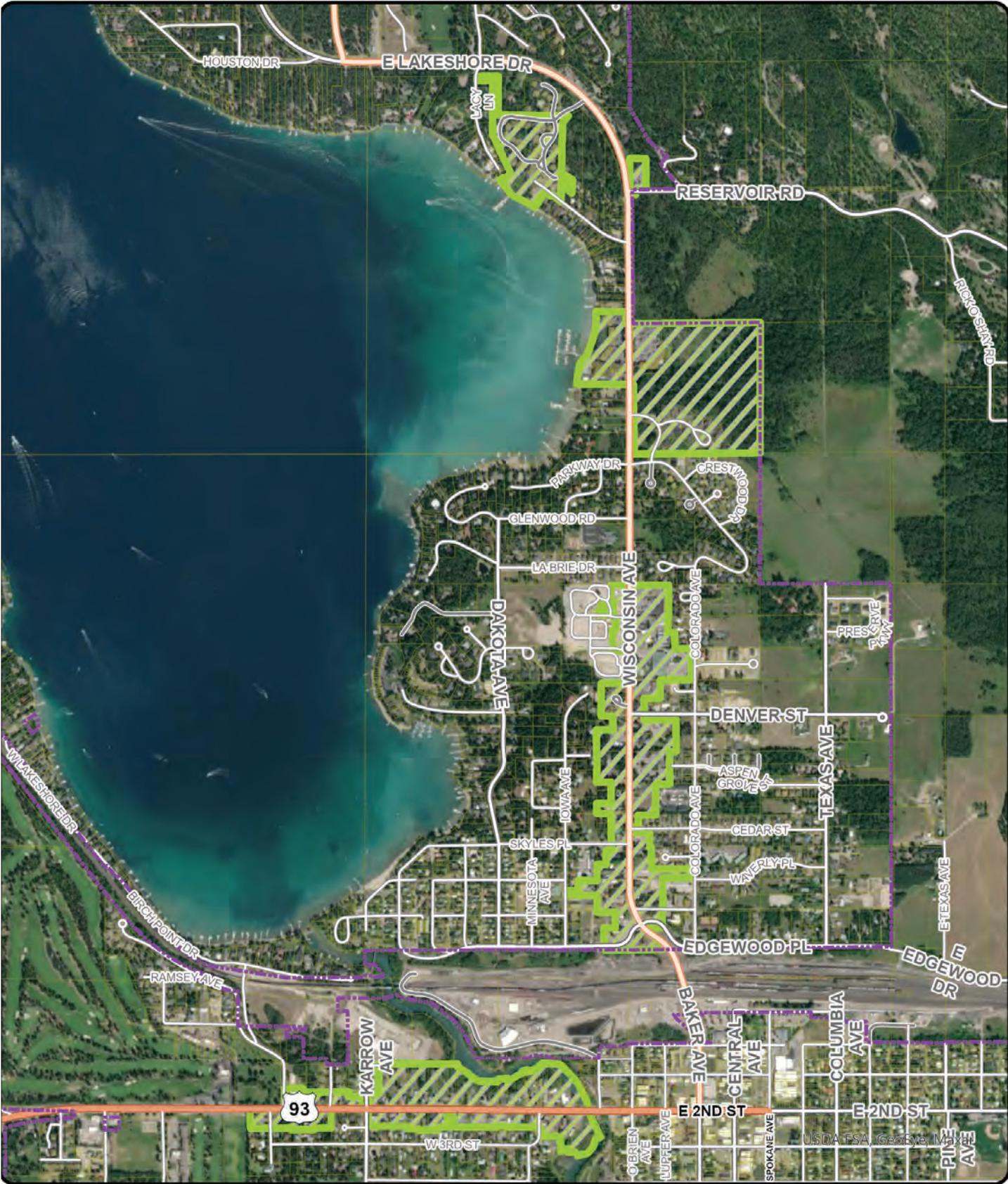
### Goals:

- Review the existing examples of successful residential conversions.
- Developments along the Wisconsin Avenue and West 2nd Street corridors have historically developed with larger setbacks from the

highway. In order to preserve a landscaped entrance into the downtown core and retain a residential feel, development should continue this pattern by setting new construction as far back as possible on the lot with landscaping and/or courtyards in front rather than parking.

- Orient buildings toward public streets.
- Include design of small pocket parks to encourage employees and the community to embrace the outdoor environment.
- When constructing new parking consider the use of a landscape buffer to minimize impact on neighboring properties.
- When selecting a building envelope consider its relationship to the lot with respect to scale. Consider staggering the structures in the new development.
- Protect the neighborhoods' existing character by using existing shapes, forms, and structural elements. Use the existing character of the neighborhood as a context for all new development. Do not use new construction to redefine the feeling and presence of the neighborhood.
- Infill and adaptive reuse projects are encouraged and shall complement the characteristics of the existing buildings built in the District.

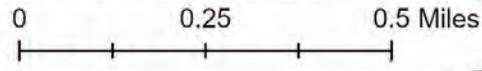
*The Resort Community Business Districts will develop as areas with smaller scale buildings in order to be good neighbors to residential areas located immediately adjacent to these corridors. Parking areas will be sited in order to not conflict with surrounding residential neighborhoods. Sites will be designed to accommodate bicyclists and pedestrians. Ample landscaping will be installed – especially to screen undesirable qualities of commercial uses from adjoining residential areas.*



**Architectural Design Districts**

 Resort Community Business

 Whitefish City Limits



Date: 9/4/2020

## 5.1 Site Design Standards

5.1.1 Buildings must be arranged on the site so their orientation frames, encloses or otherwise gives prominence to a pedestrian corridor, an outdoor gathering space with outdoor seating, a "main street" pedestrian or vehicle access corridor within the site or the corners of the street intersections or entry points into the development.

5.1.2 Buildings on corner lots should be oriented toward the primary intersection and the primary and secondary street frontage, while parking and auto access must be located away from the primary intersection corners. The use of corner entrances, plazas, signage and/or landscaping is encouraged to accentuate corner sites.

5.1.3 Where buildings are separated from the public sidewalk along the primary street frontage, the space should contain public and pedestrian amenities. Buildings may be separated from the sidewalk by plazas, landscaping, benches, bicycle racks, trash receptacles and other pedestrian amenities.

5.1.4 The layout of the site must consider pedestrians and bicyclists, as well as automobile traffic. Pedestrian access from adjacent sidewalks must have priority over vehicular traffic. Consider protection from the weather.

Consider how a pedestrian or a bicyclist would access the proposed site. Mixing nonmotorized transportation in the same spaces as automobile

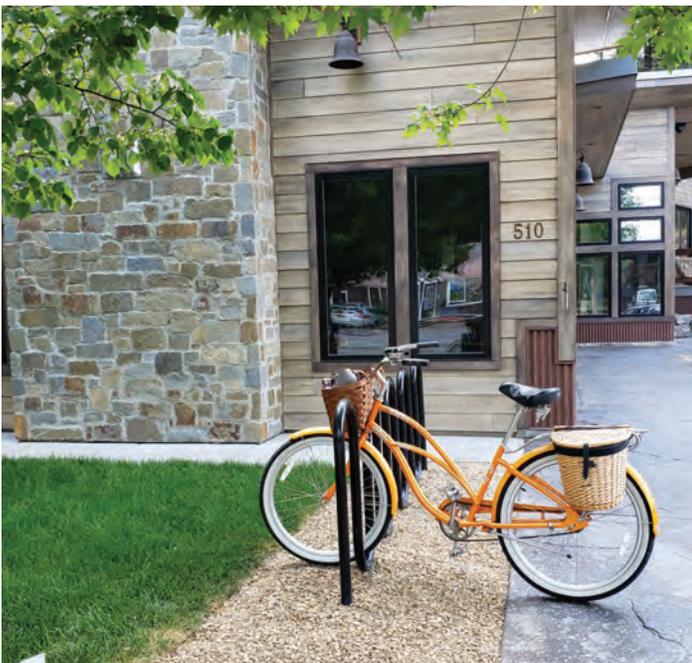
traffic can be a very unpleasant experience for both pedestrians and bicyclists. Consider alternate and/or separate routes into the development that clearly define the pedestrian area versus areas for vehicles.

5.1.5 Minimize the dominance of parking surfaces and structures. Use green spaces to soften the "sea of asphalt" which often dominates commercial "strip" development. A close review of the City's landscaping ordinance is highly recommended. Consider building orientation and its relationship to the entire site.

5.1.6 All new development must invite pedestrian access. Thoughtful site layout and the use of "green open space" should be included in all site planning. The front door/main entrance to a development must be easy to identify to the pedestrian. This may include providing a direct access from a public sidewalk to the front entrance.

5.1.7 Make site more appealing to pedestrian and bicycle traffic and use. Thoughtful application of design principles and space planning can make a site more pleasant to view and a better, safer, place to be. The use of courtyards, decks, traditional front porches and bicycle amenities are design tools that can accomplish this goal. Consider protection from the weather.

5.1.8 Fencing should be of a natural material. The use of chain link and vinyl should be avoided but may be considered by the Committee.



*Bike Parking*



*Courtyard*

5.1.9 Site design must consider the seasonal nature of the Whitefish climate allowing for summer enjoyment and snow storage in the winter. Also, consider southern exposure, energy costs and impact of shadows on adjacent properties. Apply design principles that maximize the seasonal nature of our climate.

5.1.10 Promote safe ingress and egress. Consolidate site access to the public rights-of-way to reduce congestion and the need for endless stoplights. The City seeks to promote shared access where possible. Provide cross-property easements to share driveways and reduce the need for additional curb cuts, when feasible. (§11-3-43E(5), WCC)

## 5.2 Landscaping Design Standards

Goal: Thoughtfully designed landscaping will contribute to a pleasing character for the development and Whitefish. Landscaping should not be used just as a visual screen but should also encourage a sense of place and connection to the environment.

Standards:

5.2.1 Preserve and maintain mature trees and existing vegetation as much as practical.

5.2.2 A thoughtful selection of appropriate vegetation and landscaping materials. The designer should carefully select hardy vegetation and materials to survive our harsh climate, while also accentuating the natural beauty of our community. Use native, drought-resistant species and plants requiring low amounts of water, chemicals and fertilizers.

5.2.3 Landscaped areas must be planned as an

integral part of the project, rather than simply located in the left-over spaces on the site.

5.2.4 Landscaping should complement the architecture of the project and adjacent buildings enhancing the indoor-outdoor relationship.

5.2.5 Landscaping (along with the location of the building) should soften the appearance of the site as seen from the roadway.

5.2.6 It is beneficial and attractive to incorporate outside seating areas in the landscaping plan.

5.2.7 In a landscape plan, attention should be paid to the plant material's color and texture to create unity on the site. Simple masses of material with one predominant species provide unity, while accent plantings provide attractive contrasts.

5.2.8 Species should be planted which are suitable to the space they will occupy when they have achieved their full growth. This includes understanding the growth of species root mass and their effect on sidewalks, utilities and building foundations.

5.2.9 Plants with multi-season interest provide color and interest throughout the year.

5.2.10 Plazas and malls should be planted to reflect an informal place suited to pedestrian scale. Variety and color are encouraged.

5.2.11 Landscaping and earthen berms or sight obscuring fencings must be used to screen equipment, refuse areas and storage areas. It is better to mass plant material in groups rather than locate them in a straight line which tends to look unnatural, except when required to provide



*Parking Behind Commercial Building*

a landscape buffer as defined in the Landscape Requirements. (§11-4, WCC)

5.2.12 Landscaping depicted on renderings/perspectives should be a realistic interpretation of what will be installed at the time of planting.

5.2.13 Provide uniform planting of required street trees.

5.2.14 The final landscape, irrigation and tree preservation techniques shall be reviewed and approved by staff prior to issuance of a building permit.

Note: See Whitefish Zoning Regulations for the Landscaping requirements.(§11-4, WCC)

## 5.3 Off-Street Parking Design Standards

Goal: Parking lots in Whitefish will be designed as a necessary appurtenance of a site and not the primary visual emphasis.

Standards:

5.3.1 The use of large parking lots as the primary feature at the entrances of businesses is strongly discouraged.

5.3.2 When possible locate parking to the rear or side of buildings, unless it is adjacent to a residential use or residential district. If parking is proposed adjacent to residential, it needs to be screened using fencing and landscaping. The siting of parking lots is regulated through the off-street parking chapter of the zoning.

5.3.3 Parking lots shall be designed to consider all users and not only automobiles. The development must minimize the impact of parking on the building's relationship to the street and pedestrian-oriented character and character of the neighborhood. Secure, well-lit and convenient bicycle parking and storage must be provided.

5.3.4 Provide cross-property easements to share driveways and reduce the need for additional curb cuts, when feasible. At a minimum, a pedestrian connection between parking lots between developments should be explored. Parking lot design should consider a southern aspect to reduce the accumulation of ice during the winter and allow for natural melting.

5.3.5 Parking areas shall be designed to minimize the lot's visual impact, thus creating as much as possible an architectural form instead of a wasteland.

5.3.6 Parking structures built below grade are desirable because they are less obvious to passers-by, and are easier to screen with landscaping.

5.3.7 Soften large parking areas with landscaping, earthen berms and pedestrian friendly features.

5.3.8 The amount of unrelieved pavement on parking lots shall be limited by methods such as the use of landscaping, contrasting colors, and pathways of alternate paving material.

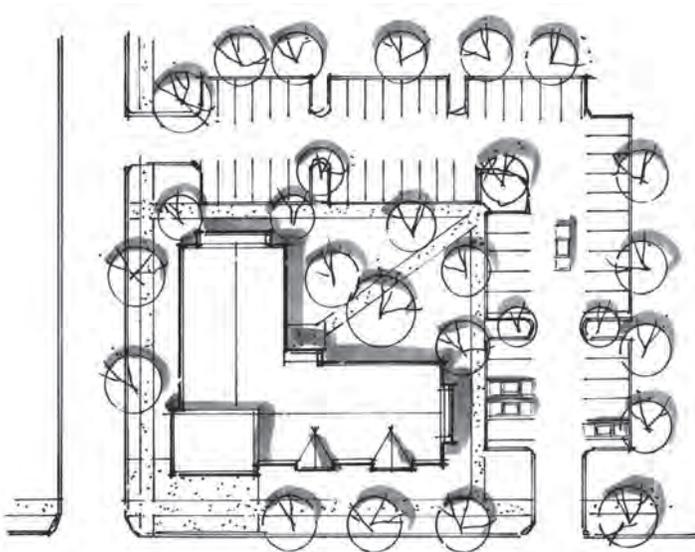
5.3.9 Landscaping treatments of parking lots should include trees both on the perimeter and interior of the lots.

5.3.10 Trees in parking lots shall be protected from vehicle damage by concrete curbing or other effective means and must provide an adequate root zone uncompacted by vehicular traffic. In high traffic areas, the use of subsurface tree root protection is recommended.

Note: See Whitefish Zoning Regulations for the Off-Street Parking requirements. (§11-5, WCC)

## 5.4 Exterior Lighting Design Standards

Although there are many needs for lighting in our built environments, obtrusive aspects of lighting often extend well beyond the boundaries of the area in which the lighting



Parking to Side & Rear of Project

is installed and intended for use. These obtrusive aspects, such as glare, light trespass, energy waste and sky glow, can have serious consequences for the public health, safety, and welfare. They can be effectively controlled or eliminated with carefully considered attention to design, installation, and use.

Goal: To provide thoughtfully designed outdoor lighting adequate to promote safety and security.

Standards:

5.4.1 All outdoor lighting must be carefully designed to light only the area needed for reasonable levels of safety and security. Seek to eliminate as much outdoor lighting as possible.

5.4.2 Light placement must avoid placing glare on neighboring properties. Every attempt should be made to consider the impacts the additional lighting will have on the surrounding environment

5.4.3 Where appropriate, the use of ground lighting should be considered. Consolidate exterior lighting and minimize the height and projection of the lamps where possible.

5.4.4 Building Lighting.

a) Exterior lighting shall be architecturally integrated with the building style, material and colors.

b) Exterior lighting may be mounted flush or projected from the building wall.

c) Neon, bright colors or flashing lights are not acceptable building lighting and are not permitted.

5.4.5 Site Lighting.

a) The design of the site lighting should

complement the architectural features of the building. Consider the use of the standard City streetlights; however, the use of other lights may be considered by the Committee.

b) Fixture mounting height should be appropriate for the project and the setting. Use of low, bollard-type fixtures, 3 to 4-feet in height, are encouraged as pedestrian area lighting.

c) Raised light pole bases shall be attractively designed and well detailed to be compatible with the overall project. The use of “sonotube” (exposed concrete) bases is discouraged. These foundations, if used, need to be treated in some fashion to cover the exposed concrete.

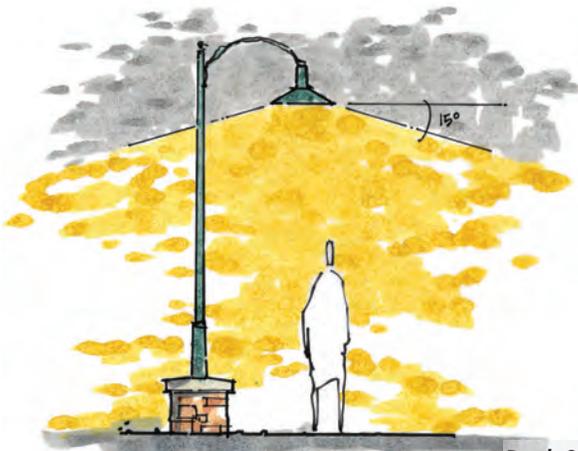
d) The placement of light poles within raised curb planter areas is encouraged; however, conflicts with parking lot trees which can obscure the lighting should be avoided

e) Swivel-mounted luminaires are prohibited.

Note: See Whitefish Zoning Regulations for the Outdoor Lighting Standards. (§11-3-25, WCC)

## 5.5 Building Design Standards

All building project designs should be a positive complementary enhancement to the existing architecture, quality of life and character of the Whitefish community and particularly the Resort Community Business District. The positive enhancement should be reflected in the design elements of the project. These



Dark Sky Lighting



Residential Scale Commercial Building



*Properly Scaled Commercial Building*

design elements are both aesthetic and practical and shall include: 1) scale, character and relationship to surrounding neighborhood; 2) shape and form; and 3) exterior materials. Also, businesses considered formula retail (also known as franchise businesses) may not use their traditional building design or color scheme. See Section 5.8 for these standards.

## 5.6 Scale and Relationship to Surroundings

5.6.1 All buildings must have a scale in size, height and mass that relates to the surrounding buildings and adjacent commercial development and neighborhood.

5.6.2 The size, height and mass must not detract from, conflict with or overwhelm the surrounding neighbors. Taller buildings must be stepped down when neighboring less high buildings.

5.6.3 Distance from other structures and features will be considered in reviewing scale.

5.6.4 Building site placement and size should minimize obstruction of views to mountains,

Whitefish River, and Whitefish Lake.

5.6.5 Mixed-Use of Non-Residential Development Adjacent to Residential Zones. Buildings must be designed to ensure building massing, height and scale provide sensitive transition to adjoining residential neighborhoods. When abutting a residential zoning district, the project's landscaping plan must include provisions for vegetative screening between the project and the residential property.

New developments adjacent to residential areas must mitigate impact through careful site planning and architectural design. Possible mitigation techniques include, but are not limited to:

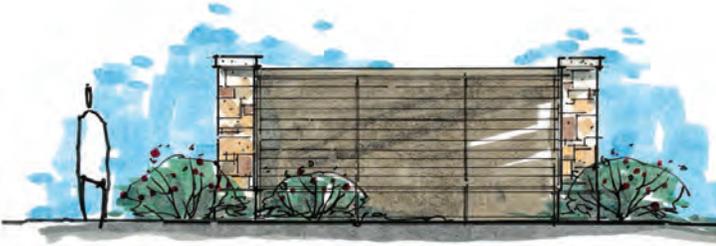
- Locating open space and preserving existing vegetation on the site's edges to further separate the building from less intensive uses.
- Stepping down the massing of the building along the site's edges
- Limiting the length of or articulating building façade to reflect adjacent residential patterns;
- Creative use and ongoing maintenance of landscaping such as berms, buffers, mounds, rockeries, living fences and swales designed to avoid the appearance of a straight line or "wall" of uniform plant material and must be wide enough to accommodate the mature plants.

### 5.6.6 Multiple Building Projects

a) Buildings must exhibit a general similarity of scale, orientation, and proportion with unified natural and built features. As a rule, taller buildings must be placed toward the interior of the site and stepped back from the street. Buildings must be grouped or sited with other buildings to create distinct outdoor spaces, with distinct pedestrian connections between the buildings, parking and the street. Sites must connect to natural corridors and trail systems and must facilitate pedestrian and bicycle traffic.

b) Projects with multiple buildings to be built in phases on one site must include design information for each building. Initial buildings must meet all the requirements of the Architectural Review Standards. Information on buildings to be built in the future must include an entire site development narrative with a site plan describing buildings, locations, access for parking and pedestrians, general landscaping and concept of building sizes, shapes, materials and colors.

## Mechanical Equipment Screening



## 5.7 Shape and Form

All buildings shall have a shape and form regarding rooflines and massing that relates to the surrounding buildings and neighborhood. Rooflines should be pitched, pitched with false fronts, flat, flat with false fronts, and shed with false fronts, hipped, gable or gambrel. Overhanging eaves are encouraged. Flat roofs shall have parapets.

5.7.1 All remote mechanical and electrical equipment (condensers, chillers, intake/exhaust fans, cabinets, etc.) regardless of horsepower, must be enclosed within sound absorptive walls as permitted by the Building Code. These areas shall be located and screened so the visual and acoustic impacts of these functions are fully contained and out of view. Enclosures shall be reviewed by the Committee where applicable and the acoustic design will be reviewed and approved at the time of plan examination by the Building Department.

5.7.2 Although business buildings are permitted in this area, it is historically a residential neighborhood and new construction in this district must respect the residential character in style, scale and form.

5.7.3 New construction in this district should follow the typical rooflines, which include pitched, hipped, gable, and sheds with overhangs or false fronts. New roof pitches should stay within the existing roof pitches of 3:12 to 12:12.

5.7.4 Large massive roofs should be avoided. When large floor plans are required, roofs must be broken up with elements such as dormers, hips and pitched entries.

5.7.5 Rear façades of buildings facing alleys or streets must be given aesthetic considerations.

5.7.6 Front porches and covered entries are recommended.

5.7.7 Courtyard and sitting areas away from the street side are encouraged.

5.7.8 Expansive blank walls are not allowed.

5.7.9 Large display windows facing a main street at the first story, as in the downtown area, are allowed. All other windows on sidewall and upper stories should be vertical in orientation.

## 5.8 Exterior Materials

5.8.1 Exterior finish building materials should be of a nature in color and texture complementary with the structures within each building district. They shall not clash, detract or conflict with adjacent architecture.

5.8.2 Acceptable exterior cladding materials should include properly scaled brick, 1x4, 1x6 or 1x8 horizontal natural wood siding, sawn shingles 1x6 or 1x8 vertical channel natural siding, 1x8 to 1x12 vertical board and batten natural wood siding with 1x2 batts, natural stone veneers, and stucco with wood trim. Other fire resistant and ecological friendly materials may be considered.



Exterior Customer Seating



5.8.3 Wood shingles, vertical wood siding and boards w/ batts are acceptable in gables and upper portions of walls.

5.8.4 Exposed plain concrete block, and vinyl cladding are not allowed. Metal siding, Exterior Insulation Finish System (EIFS), composite siding and stone panels are discouraged but may be used at the discretion of the Committee. (Exception: residential buildings of two or more units when located in a strictly residential district may utilize composite sidings such as fiber cement if compatible with neighboring structures.)

5.8.5 Acceptable roofing materials shall be asphalt composition shingles, metal, or appropriate flat roofing. Other technologically advanced products such as solar roof tiles are encouraged.

5.8.6. Roofing shall be of colors that complement neighboring structures.

5.8.7. Mirrored and tinted glazing is not allowed. Low-E glass is acceptable. Vision glass on building sides facing streets is encouraged.

5.8.8. Exterior classic details and elements such as brackets, cornices, window trim, and wall corner boards are encouraged.

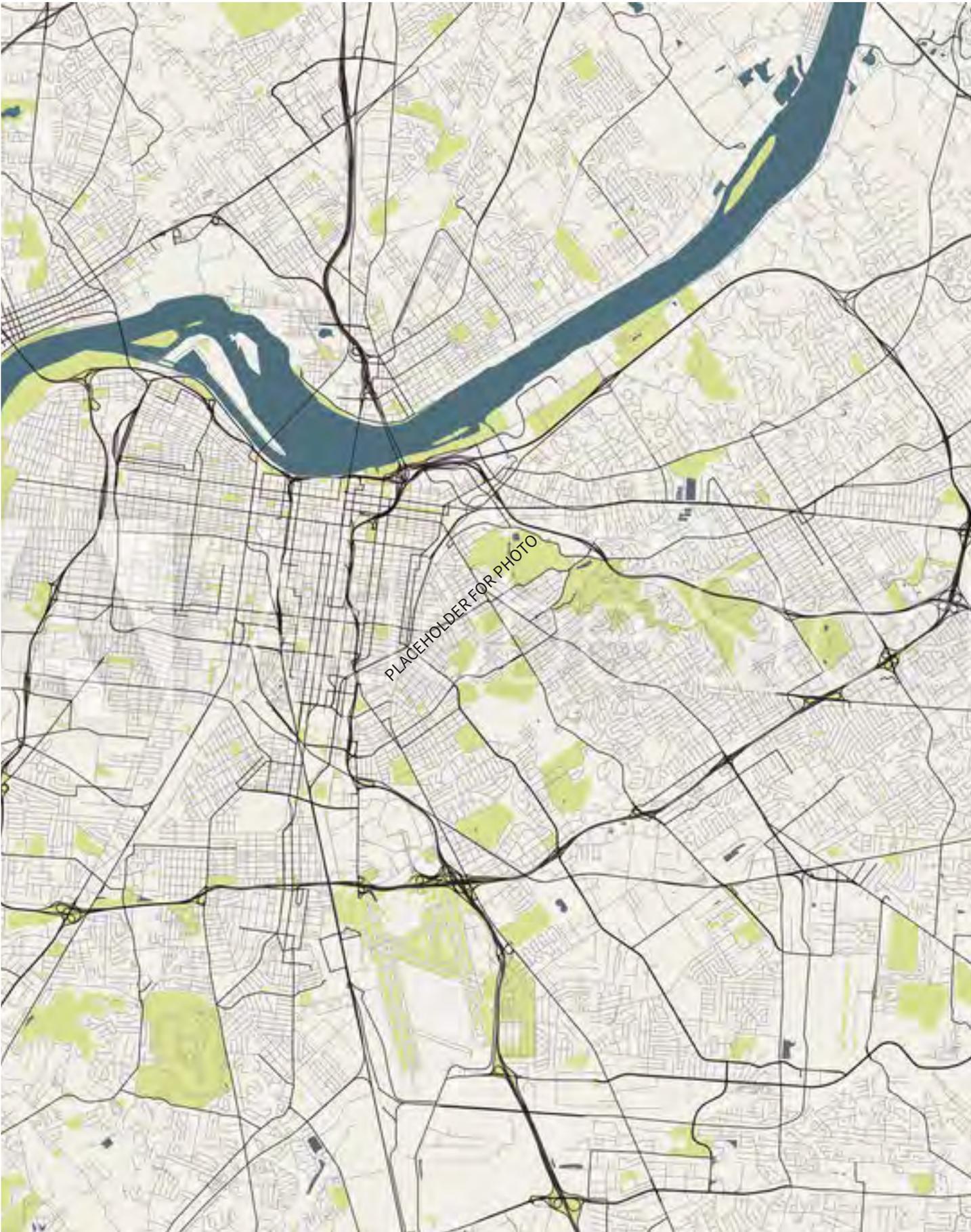
5.8.9. Higher quality and easily maintained materials are strongly recommended.

## 5.9 Formula Retail Design Standards

Commercial uses meeting the zoning definition of “formula retail” (also known as franchise retail uses) are expected to minimize generic and corporate images, and express the architectural elements and forms that best express the values and heritage of the community.

5.9.1. Formula retail must not use standard corporate building shapes, forms and rooflines.

5.9.2. Formula retail color schemes are not acceptable.





*Properly Scaled Residential Buildings*

# RESIDENTIAL DISTRICT

## Chapter 6

The Residential Standards apply to structures of two-unit dwellings or more. The Residential District is all areas within the city limits without another design district designation. In addition, a residential use within one of the other design districts requires compliance with these standards along with the applicable design district standards.

In addition to these standards, the Multi-Family Development Standards (§11-3-42, WCC) apply.

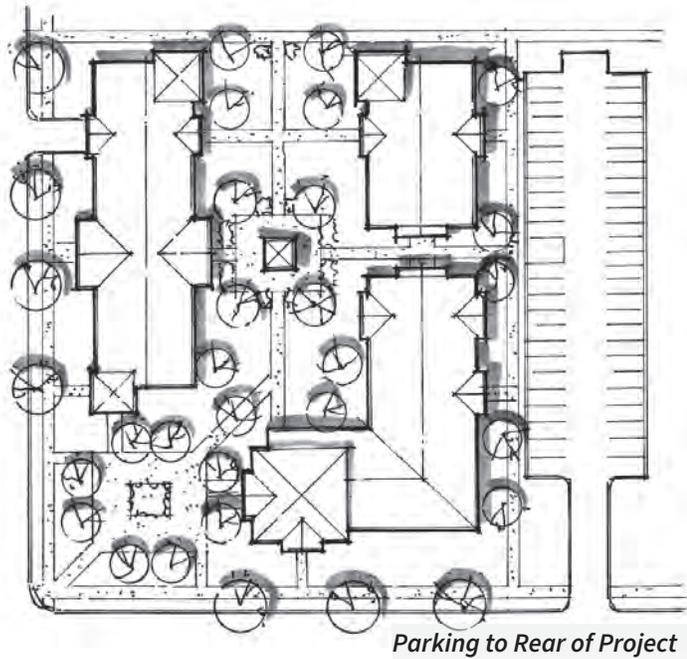
### Goals:

- Consider vertical relief when laying out building footprints on the lot.
- Maximize the use of parking to the rear of the

lot and the use of alleys for entrances.

- Incorporate usable on-site pedestrian spaces.
- Reduce the prominence of the garage and parking pavement in neighborhood design. Locate garages behind the primary structure on the lot or setback from the front foundation line of the structure. Parking pavement should not extend to the front door. Use alleys wherever possible for the primary entrances to on-site parking. If this is not feasible, employ design standards described in Section 6.8.

*Multi-family development in Whitefish will be designed to suit the neighborhood where it is located, relate to the street and surroundings and meet the needs of the residents.*



## 6.1 Site Design Standards

6.1.1 The layout of the site must consider pedestrians and bicyclists, as well as automobile traffic. Pedestrian access from adjacent sidewalk must have priority over vehicular traffic. Provide each building with direct and distinct pedestrian access from the street fronting the building and the parking areas. A bicycle parking area must be provided. Consider protection from the weather.

Consider how a pedestrian or a bicyclist would access the proposed site. Mixing nonmotorized transportation in the same spaces as automobile traffic can be a very unpleasant, and potentially dangerous, experience for pedestrians and bicyclists. Consider alternate and/or separate routes into the development that clearly define the pedestrian area versus areas for vehicles.

6.1.2 Minimize the dominance of parking surfaces and structures. Use green spaces to soften the "sea of asphalt". A close review of the City's landscaping ordinance is highly recommended. Consider building orientation and its relationship to the entire site.

6.1.3 All new development must invite pedestrian access and be oriented to public streets. Design alternate and/or separate routes into the development clearly defining bicycle and pedestrian areas versus areas for vehicles.

Thoughtful site layout and the use of "green open space" should be included in all site

planning. The front door/main entrance to a development must be easy to identify to the pedestrian. This may include providing a direct access from a public sidewalk or street to the front entrance.

6.1.4 Make site more appealing to pedestrian and bicycle traffic and use. Thoughtful application of design principles and space planning can make a site more pleasant to view and a better, safer place to be. The use of courtyards, decks, traditional front porches and bicycle amenities are design tools that can accomplish this goal. Consider protection from the weather and provide safe, visible well-lit locations. Where feasible, designs shall encourage front yard and outdoor spaces for barbecuing, sitting, gardening and playing.

6.1.5 Fencing should be of a natural material. The use of chain link and vinyl should be avoided but may be considered by the Committee.

6.1.6 Site design must consider the seasonal nature of the Whitefish climate allowing for summer enjoyment and snow storage in the winter. Also, consider southern exposure, energy costs and impact of shadows on adjacent properties. Apply design principles that maximize the seasonal nature of our climate.

6.1.7 Promote safe ingress and egress. Consolidate site access to public rights-of-way to reduce congestion and the need for endless stoplights. The City seeks to promote shared access where possible. Provide for cross-property easement to share driveway and

reduce the need for additional curb-cuts when feasible. (§11-3-42C, WCC)

6.1.8 Buildings shall be oriented for privacy, both within the project and to the neighborhood.

## 6.2 Landscaping Design Standards

Goal: Thoughtfully designed landscaping will contribute to a pleasing character for the development and Whitefish. Landscaping should not be used just as a visual screen but should also encourage a sense of place and connection to the environment.

Standards:

6.2.1 Landscaped areas must be planned as an integral part of the project, rather than simply located in the left-over spaces on the site.

6.2.2 A thoughtful selection of appropriate vegetation and landscaping materials. The designer should carefully select hardy vegetation and materials that can survive our harsh climate; these plants should also accentuate the natural beauty of our community. Use native, drought-resistant species and plants requiring low amounts of water, chemicals and fertilizers. Designs should have the ability to be maintained reasonably weed free.

6.2.3 Preserve and maintain mature trees and existing vegetation as much as practical.

6.2.4 Landscaping should complement the architecture of the project and adjacent buildings.

6.2.5 Landscaping (along with the location of the building) should soften the appearance of the site as seen from the roadway.

6.2.6 It is beneficial and attractive to incorporate

outside areas in the landscaping plan such as trellises, low planters, walls, seating, porches or balconies.

6.2.7 Consider wildflower gardens, rain gardens or vegetable gardens with defined planting beds and features such as rocks or sculptures in lieu of front lawns. Alternatives to traditional lawn grasses include low mow Fescue grass mixes, native and non-native perennial ground-covers such as thyme, chamomile, sea thrift, Scotch moss, creeping potentilla, sedums and other perennial ground-covers; combination of ground-covers will increase resiliency to drought and pests.

6.2.8 In a landscape plan, attention should be paid to the plant material's color and texture to create unity on the site. Simple masses of material with one predominant species provide unity, while accent plantings provide attractive contrasts.

6.2.9 Species should be planted which are suitable to the space they will occupy when they have achieved their full growth. This includes understanding the growth of species root mass and their effect on sidewalks, utilities and building foundations.

6.2.10 Plants with multi-season interest provide color and interest throughout the year.

6.2.11 Plazas should be planted to reflect an informal place suited to pedestrian scale. Variety and color are encouraged.

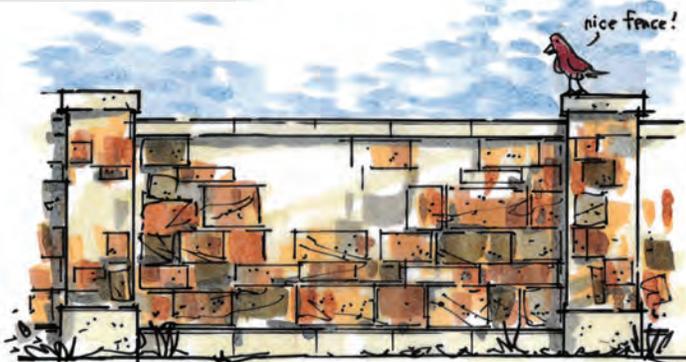
6.2.12 Landscaping and earthen berms or sight obscuring fencings must be used to screen equipment, refuse areas and storage areas. It is better to mass plant material in groups rather than locate them in a straight line which tends to look unnatural, except when required to provide a landscape buffer as defined in the Landscape Requirements. (§11-4, WCC)

6.2.13 Landscaping plans submitted for review and approval should be consistent with materials presented for Architectural Review approval. This includes location and size of planting beds and specific tree and shrub species.

6.2.14 Provide uniform planting of required street trees.

6.2.14 The final landscape, irrigation and tree preservation techniques shall be reviewed and approved by staff prior to issuance of a building permit.

### Residential Fencing



Note: See Whitefish Zoning Regulations for the Landscaping requirements. (§11-4, WCC)

## 6.3 Off-Street Parking Design Standards

Goal: Parking in the Residential District will be designed as a necessary appurtenance of a site and not the primary visual emphasis. The effect of driveways and parking lots on the public and neighboring properties must be minimized by designing, locating and screening parking lots, carports and garages in a way to create few interruptions on the street, sidewalk and building facades.

Standards:

6.3.1 Parking areas shall be designed to minimize the lot's visual impact, thus creating an architectural form instead of a wasteland as much as possible.

6.3.2 Parking lots shall be designed to consider all users and not only automobiles. Secure, well-lit and convenient bicycle parking and storage must be provided.

6.3.3 Parking must be distributed throughout the site with a preference for parking to the side or rear of the building or under the building. Such parking should be accessed from alley-type driveways. Shared driveways between

adjacent uses is preferred. Parking lot design should consider a southern aspect to reduce the accumulation of ice during the winter and allow for natural melting.

6.3.4 Parking structures built below grade are desirable because they are less obvious to passers-by, and are easier to screen with landscaping.

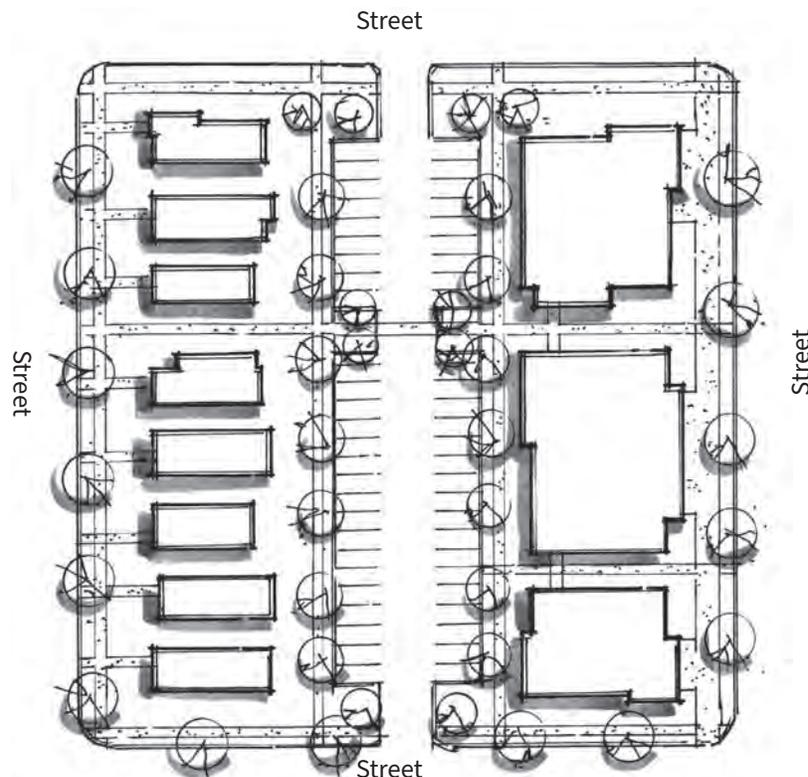
6.3.5 Soften large parking areas with landscaping, earthen berms and pedestrian friendly features.

6.3.6 The amount of unrelieved pavement on parking lots shall be limited by methods such as the use of landscaping, contrasting colors, and pathways of alternate paving material.

6.3.7 Parking lots shall be designed with adequate landscaping to avoid the appearance of a sea of asphalt.

6.3.8 Landscaping treatments of parking lots should include trees both on the perimeter and interior of the lots.

6.3.9 Trees in parking lots shall be protected from vehicle damage by concrete curbing or other effective means and must provide an adequate root zone uncompacted by vehicular traffic. In high traffic areas, the use of subsurface tree root protection is recommended.



*Multi-Family Oriented  
Toward Street with  
Parking Behind*

# RESIDENTIAL SITE PLANS

A well-designed site plan will indicate careful consideration of:

- ✓ how a resident will interact with the outdoors
- ✓ provide quality outdoor space - whether that be a front porch with a front yard or a common larger open space area or a courtyard available for all residents
- ✓ include pedestrian and bicycle connections to the public sidewalk and/or trail system
- ✓ bicycle parking/storage
- ✓ incorporation of mature long-lived trees, where possible

At a minimum, the site plan must be drawn to scale and show the following:

- ✓ detail showing proposed use
- ✓ property lines
- ✓ existing and proposed buildings
- ✓ traffic circulation
- ✓ driveways
- ✓ parking
- ✓ landscaping concept plan including lighting, plantings, hard surfaces, sidewalks, patios and other site features
- ✓ fencing
- ✓ signage
- ✓ topographic features



adjacent uses is preferred. Parking lot design should consider a southern aspect to reduce the accumulation of ice during the winter and allow for natural melting.

6.3.4 Parking structures built below grade are less obvious to passers-by, and are easier to screen with landscaping, therefore are desirable.

6.3.5 Soften large parking areas with landscaping, earthen berms and pedestrian friendly features.

6.3.6 The amount of unrelieved pavement on parking lots shall be limited by methods such as the use of landscaping, contrasting colors, and pathways of alternate paving material.

6.3.7 Parking lots shall be designed with adequate landscaping to avoid the appearance of a sea of asphalt.

6.3.8 Landscaping treatments of parking lots should include trees both on the perimeter and interior of the lots.

6.3.9 Trees in parking lots shall be protected from vehicle damage by concrete curbing or other effective means and must provide an adequate root zone uncompacted by vehicular traffic. In high traffic areas, the use of subsurface tree root protection is recommended.

Note: See Whitefish Zoning Regulations for the Off-Street Parking requirements. (§11-5, WCC)

## 6.4 Exterior Lighting Design Standards

Although there are many needs for lighting in our built environments, obtrusive aspects of lighting often extend well beyond the boundaries of the area in which the lighting is installed and intended for use. These obtrusive aspects, such as glare, light trespass, energy waste and sky glow, can have serious consequences for the public health, safety, and welfare. They can be effectively controlled or eliminated with carefully considered attention to design, installation, and use.

Goal: To provide thoughtfully designed outdoor lighting adequate to promote safety and security.

Standards:

6.4.1 All outdoor lighting must be carefully

designed to light only the area needed for reasonable levels of safety and security. Seek to eliminate as much outdoor lighting as possible.

6.4.2 Light placement must avoid placing glare on neighboring properties. Every attempt should be made to consider the impacts the additional lighting will have on the surrounding environment

6.4.3 Where appropriate, the use of ground lighting should be considered. Consolidate exterior lighting and minimize the height and projection of the lamps where possible.

### 6.4.4 Building Lighting

a) Exterior lighting shall be architecturally integrated with the building style, material and colors.

b) Exterior lighting may be mounted flush or projected from the building wall.

c) Neon, bright colors or flashing lights are not acceptable building lighting and are not permitted.

### 6.4.5 Site Lighting

a) The design of the site lighting should complement the architectural features of the building. Consider the use of City standard streetlights; however, the use of other lights may be considered by the Committee.

b) Fixture mounting height should be appropriate for the project and the setting. Use of low, bollard-type fixtures, 3 to 4-feet in height, are encouraged as pedestrian area lighting.





c) Raised light pole bases shall be attractively designed and well detailed to be compatible with the overall project. The use of “sonotube” (exposed concrete) bases is discouraged. These foundations, if used, need to be treated in some fashion to cover the exposed concrete.

d) The placement of light poles within raised curb planter areas is encouraged; however, conflicts with parking lot trees which can obscure the lighting should be avoided.

e) Swivel-mounted luminaires are prohibited.

Note: See Whitefish Zoning Regulations for the Outdoor Lighting Standards. (§11-3-25, WCC)

## 6.5 Building Design Standards

All building project designs should be a positive complementary enhancement to the existing architecture, quality of life and character of the Whitefish community and particularly the Residential District. The positive enhancement should be reflected in the design elements of the project. These design elements are both aesthetic and practical and shall include:

1) scale, character and relationship to surrounding neighborhood; 2) shape and form; and 3) exterior materials. Projects with more than one multi-family structure are required to complement the existing neighborhood in mass and scale and have a varying exterior appearance. These standards can be found under Section 6.7.2. In addition, multi-family structures, including duplex/townhouses with garages designed forward of the main foundation of the structure generally lack connectivity to the neighborhood and street. This design is prohibited in Whitefish unless it is unavoidable, then the standards in Section 6.8 shall be met.

## 6.6 Scale and Relationship to Surrounding Neighborhood

6.6.1 All buildings must have a scale in size, height and mass that is compatible, complementary to and relates to the immediate surrounding buildings and neighborhood.

6.6.2 The size, height and mass must not detract from, conflict with or overwhelm the surrounding neighbors. This can be accomplished by breaking up a multi-family structure into house size building elements, especially where there is a building height transition from adjoining developments, and using the existing separation pattern and orientation of buildings in the adjacent neighborhood to establish the pattern of the new development. Taller buildings must be stepped down when adjacent to neighboring buildings that are not as tall.

6.6.3 Articulation and modulation of buildings and rooflines reduces perceived building bulk and scale.

6.6.4 Distance from other structures and features will be considered in reviewing scale. Design multi-family buildings to ‘step back’ from abutting lower density properties to better fit into the existing neighborhood.

6.6.5 Building site placement and size should minimize obstruction of views to mountains, Whitefish River, and Whitefish Lake.

6.6.6 Projects with multiple buildings to be built in phases on one site must include design information for each building. Initial buildings must meet all the requirements of the Architectural Review Standards. Information on buildings to be built in the future must include

an entire site development narrative with a site plan describing buildings, locations, access for parking and pedestrians, general landscaping and concept of building sizes, shapes, materials and colors.

## 6.7 Shape and Form

All buildings shall have a shape and form regarding rooflines and massing that relates to the surrounding buildings and neighborhood. Rooflines should be pitched, pitched with false fronts, and shed with false fronts, hipped, gable or gambrel. Overhanging eaves are encouraged.

6.7.1 All remote mechanical and electrical equipment (condensers, chillers, intake/exhaust fans, cabinets, etc.) regardless of horsepower, must be enclosed within sound absorptive walls as permitted by the Building Code. These areas shall be located and screened so the visual and acoustic impacts of these functions are fully contained and out of view. Enclosures shall be reviewed by the Committee where applicable and the acoustic design will be reviewed and approved at the time of plan examination by the Building Department.

### 6.7.2 Multi-Family Developments

In any development containing more than one multi-family and/or townhouse structure, the following details are reviewed:

a) Buildings must exhibit a general similarity of scale, orientation, and proportion with unified natural and built features. Buildings must be grouped or sited with other buildings to create distinct outdoor spaces. Sites must connect to natural corridors and trail systems and must facilitate pedestrian and bicycle traffic.

b) As a general rule, taller buildings must be placed toward the interior of the site and stepped back from the street.

c) Buildings must provide visual variety in

structures in the same development. The primary objective of this standard is to avoid visual monotony among multi-family structures while encouraging a common high-quality design theme. If two or more developments containing more than one multi-family and/or townhouse structure occur near one another, the Architectural Review Committee shall review building plans for such structures to assure that they are all substantially different from similar multi-family structures in a neighboring development. The intent of these requirements is to create variety and visual interest among all units in a development containing multi-family structures, or multi-family development located near one another. All design elements can be utilized to create a substantially varied exterior appearance, including but not limited to the following:

- Color (although by itself is not enough to create substantial difference in exterior appearance)
- Texture
- Materials
- Orientation on the site
- Height
- Mass
- Scale
- Shape
- Form
- Façade Modulation
- Roof Articulation
- Articulation of Building Materials and Elements
- Transition Spaces



*Multi-Family Stepped Down to Existing Single Family Homes*



*Garage Behind with Shared Driveway*



*Garages off Each Street on Corner*

*East Elevation*



*Garages to the Side*



*North Elevation*

## 6.8 Garage Forward Designed Structures

Garage forward designed residential units generally lack connectivity to the street and neighborhood. When streets are more comfortable and inviting places to be, there is more pedestrian activity on the street, which in turn promotes more interaction with neighbors, places more “eyes on the street” and encourages residents to use the front areas of their home and front yards.

The use of garage forward design multi-family structures, including duplexes, is not allowed unless the use of garage doors constructed forward of the foundation line of the main structure is unavoidable. If this design is unavoidable, the applicant must employ a cohesive design strategy to mitigate their appearance by using three or more of the following measures:

- Install two single garage doors instead of one two-car garage door;
- Use garage doors that break up the mass of the one long wall – this can be accomplished by using carriage-style doors, multi-paned doors, or doors with windows;

- The finish color be complementary to the structure;
- Design a shed roof or other architectural feature over the top of the garage doors 2 to 3-feet deep;
- Relief between the two garage doors;
- Moving the entrances so they are easily seen from the street;
- Putting windows and/or living space above the garage;
- Use different techniques for garage doors installed adjacent to one another;
- Incorporate a compatible window in the garage so it appears to be a habitable portion of the house; or
- Any other creative design solution(s) to mitigate the garage forward design accepted by the Architectural Review Committee.

## 6.9 Exterior Materials

6.9.1 Exterior finish building materials should be of a nature in color and texture complementary with the structures within each building district. They shall not clash, detract or conflict with adjacent architecture.

6.9.2 Acceptable exterior cladding materials should include properly scaled brick, 1x4, 1x6 or 1x8 horizontal natural wood siding, sawn shingles 1x6 or 1x8 vertical channel natural siding, 1x8 to 1x12 vertical board and batten natural wood siding with 1x2 batts, natural stone veneers, and stucco with wood trim. Other fire resistant and ecological friendly materials may be considered.

6.9.3 Wood shingles, vertical wood siding and boards with batts are acceptable in gables and upper portions of walls.

6.9.4 Exposed plain concrete block, and vinyl cladding are not allowed. Metal siding, Exterior Insulation Finish System (EIFS), composite siding and stone panels are discouraged but may be used at the discretion of the Committee. (Exception: residential buildings of two or more units when located in a strictly residential district may utilize composite sidings such as fiber cement if compatible with neighboring structures.)

6.9.5 Acceptable roofing materials shall be asphalt composition shingles, metal, or appropriate flat roofing. Other technologically advanced products such as solar roof tiles are encouraged.

6.9.6 Roofing shall be of colors that complement neighboring structures.

6.9.7 Mirrored and tinted glazing is not allowed. Low-E glass is acceptable.

6.9.8 Exterior classic details and elements such as brackets, cornices, window trim, and wall corner boards are encouraged.

6.9.9 Higher quality and easily maintained materials are strongly recommended.



*New Duplex in Existing Neighborhood*





## 6.10 TOWNHOUSES/DUPLEXES/TRIPLEXES

Townhouses, duplexes and triplexes are permitted in many zoning districts throughout the City. In addition, depending on the neighborhood, townhouses, duplexes and triplexes may be used as infill housing in neighborhoods traditionally developed with single family detached homes. In order to ensure these projects are consistent and compatible with the surrounding neighborhood character and transition effectively to single family detached homes, the following apply:

6.10.1 Ensure buildings are pedestrian friendly and contribute to the character of the surrounding neighborhood. Front porches must be emphasized. If no front porch is provided, the front door must be oriented, so it directly faces the street.

6.10.2 Buildings should be oriented in a way similar with the neighborhood.

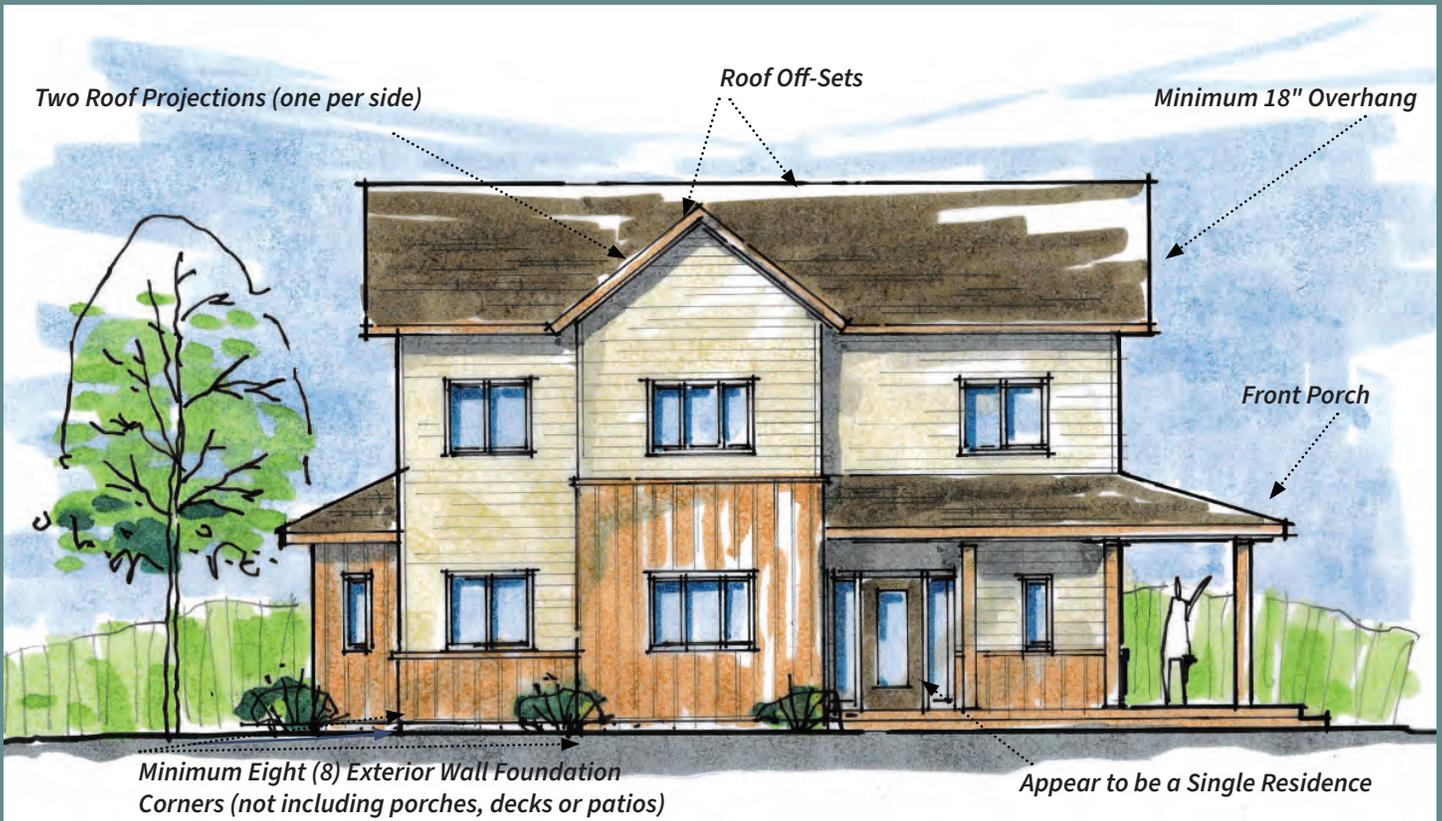
6.10.3 Design of the buildings should reflect architectural styles compatible with the neighborhood and make every attempt to appear like a single-family home.

6.10.4 Structures located on corner lots shall be designed with pedestrian entries located on opposite street frontages, so the structure appears to be a single-family dwelling. Where no alley is available for vehicular access, separate driveways for each unit should be placed on opposite streets;

6.10.5 Meet the minimum requirements identified in the graphic on the next page.

6.10.6 The enhancement features in the graphic may also be included to further support a superior design. NOTE: Not all features are required on a single building.

# MINIMUM REQUIREMENTS



# ENHANCEMENT FEATURES





*Public and Institutional Facilities will be designed to honor the neighborhood where they are located, relate to the street and surroundings and meet the needs of the community.*

Photo Credit: Whitefish Pilot

# PUBLIC AND INSTITUTIONAL FACILITIES

## Chapter 7

Public and Institutional Facilities are located throughout the various design districts. These facilities include administrative offices, maintenance buildings, bus barns, schools, park restrooms, park facilities and community buildings. Some of these facilities are designed to be central features of our community, such as a city hall, performing arts center or library. Other structures are not intended for general public use, such as a maintenance facility. Facilities developed with public funds are designed for low-maintenance and long-term use, but still need to incorporate elements from the design district where they are located.



## GLOSSARY OF ARCHITECTURAL TERMS

- **Articulation:** Shifts in the plane of the walls, setbacks, stepbacks, reveals, overhangs and details in order to create variations in the building's façade
- **Building Elevations:** A one-dimensional graphic representation of a proposed building
- **Cornice:** Any horizontal decorative molding which crowns any building
- **Fenestration:** Products that fill openings in a building, such as windows, doors, skylights, curtain walls, etc., designed to permit the passage of air, light, vehicles, or people
- **Form:** The shape, appearance, or configuration, of a building
- **Formula Retail:** A type of retail sales activity or retail sales establishment, including restaurant which, along with twelve or more other retail sales establishments, maintains two or more of the following features: a standardized array of merchandise, a standardized façade, a standardized décor and color scheme, uniform apparel, standardized signage, a trademark or service mark. See the full definition in §11-9-2, WCC.
- **Full Cut-Off Lighting:** A luminaire designed and installed where no light is emitted at or above a horizontal plane running through the lowest point on the luminaire
- **Gable Roof:** The vertical triangular portion of the end of a building with a two-way pitched roof, extending from the level of the cornice or eaves to the ridge of the roof
- **Gambrel Roof:** A type of gable roof where the end of the building is hipped
- **Glazing (mirrored, tinted, Low-E):** A transparent part of a wall usually made of glass
- **Hipped Roof:** A type of roof where all sides slope downwards to the walls, usually with a gentle slope
- **Lintel:** A horizontal feature (such as a beam) over an opening which carries the weight of the wall above it
- **Mansard Roof:** A type of hip roof characterized by two slopes on each of its four sides with the lower slope being much steeper, almost a vertical wall, while the upper slope, usually not visible from the ground, is pitched at the minimum needed to shed water
- **Mass:** A building's bulk, size and magnitude – the overall volume
- **Mechanical Equipment:** Includes venting, heating or cooling equipment used for buildings
- **Modulation:** Variations of a building's mass using deep setbacks, diminishing upper floor areas and/or projecting roof overhangs
- **Neighborhood Context:** How a project blends into and integrates with the context of the adjacent neighborhood and uses
- **Pedestrian Spaces:** Any open area designed to be used for pedestrians, including, but not limited to a plaza, walkway, etc.
- **Perspective Drawing:** A three-dimensional graphical representation of a proposed building
- **Relief, Architectural:** A change in the setback (forward or back) to a vertical façade
- **Roof Pitch:** A roof's pitch is the measured vertical rise divided by the measured horizontal span
- **Scale:** The spatial relationship of a building with neighboring buildings
- **Shed Roof:** Single pitched roof
- **Sky Glow:** A kind of light pollution visible by the glowing effect seen in the skies over many cities and towns
- **Sonotubes:** A concrete form used for a foundation

**PLANNING & BUILDING DEPARTMENT**  
**418 E 2<sup>nd</sup> Street, PO Box 158, Whitefish, MT 59937**  
**(406) 863-2410 Fax (406) 863-2409**



October 13, 2020

Mayor and City Council  
City of Whitefish  
PO Box 158  
Whitefish MT 59937

RE: Architectural Review Standards Update (WZTA 20-04)

Honorable Mayor and Council:

**Summary of Requested Action:** This is a request by the City of Whitefish to update the Architectural Review Standards.

**Planning & Building Department Recommendation:** Staff recommended approval of the text amendments.

**Public Hearing:** At the public hearing, two members of the Architectural Review Committee answered Board questions and no one else addressed the Board. The draft minutes for this item are attached as part of this packet.

**Planning Board Action:** The Whitefish Planning Board met on September 17, 2020 and considered the request. Following the hearing, the Planning Board unanimously approved the request. In making their decision, the Planning Board adopted staff report WZTA 20-04 with Findings of Fact and Exhibit 1A as presented to the Board.

**Proposed Motion:**

- I move to approve WZTA 20-04, the Findings of Fact in the staff report and Exhibit 1A, as recommended by the Whitefish Planning Board on September 17, 2020.

This item has been placed on the agenda for your regularly scheduled meeting on October 19, 2020. Should Council have questions or need further information on this matter, please contact the Planning Board or the Planning & Building Department.

Respectfully,

*/s/ Wendy Compton-Ring*

Wendy Compton-Ring, AICP

Senior Planner

Att: Exhibit A: Planning Board Recommendation  
Draft Minutes, Planning Board Meeting, 9-17-20

***Exhibits from 9-17-20 Staff Packet***

1. Staff Report – WZTA 20-04, 9-10-20
  - a. Draft Standards with photos, drawings, and maps
  - b. Draft Standards in underline/~~strikeout~~
2. Advisory Agency Notice, 8-26-20

***Public Comments After Planning Board***

3. Email, Stus, 10-6-20

c: w/att        Michelle Howke, City Clerk

APPLICANT / AGENCIES	None.
PUBLIC COMMENT	Chair Qunell opened the public hearing and no one wished to speak. Chair Qunell closed the public hearing and turned the matter over to the Planning Board for consideration.
MOTION / BOARD DISCUSSION	<p>Scott moved and Linville seconded to adopt the findings of fact within staff report WCUP 20-14, with the six (6) conditions of approval, as proposed by City Staff.</p> <p>Chair Qunell asked and Compton-Ring said a deed restriction is required as part of Condition No. 5.</p>
VOTE	<b>The motion passed unanimously.</b> The matter is scheduled to go before the Council on October 5, 2020.
PUBLIC HEARING 3: CITY OF WHITEFISH ZONING TEXT AMENDMENT REQUEST <i>7:11 pm</i>	A request by the City of Whitefish for a Zoning Text Amendment to the Architectural Review Standards.
STAFF REPORT WZTA 20-04 (Compton-Ring)	<p>Senior Planner Compton-Ring introduced Architectural Review Committee members Shane Jacobs (Vice Chair and architect), and Leslie Lowe (landscape architect), here to help with technical questions if needed.</p> <p><i>Note: Linville left at 7:21 pm.</i></p> <p>Compton-Ring reviewed her staff report and findings. As of the writing of WZTA 20-04, no public comments had been received, and none have been received since then.</p> <p>Staff recommended adoption of the findings of fact within staff report WZTA 20-04 and for <b>approval</b> of the amendments to the Architectural Review Standards.</p>
BOARD QUESTIONS OF STAFF	Chair Qunell suggested since these are not things the Planning Board deals with and there is no one left for public comment, members ask specific questions or give comments rather than going over each item in the document.

	<p>Beckham said it looks good, is well thought out, and more user friendly.</p> <p>Scott had no comments or questions.</p> <p>Freudenberger has spent some time on the revised document and read it a few times, but Compton-Ring and Kathy Skemp, Chair of the Architectural Review Committee, have spent <i>a lot</i> of time on it. He asked a question regarding the standard of eight corners for townhomes. Leslie Lowe, Architectural Review Committee member and landscape architect, said as well as the massing of the building, it allows them opportunities for small courtyards because there are indentations in the buildings, rather than straight facades, as a way to encourage relationships between people in the building. It also encourages small garden in the front. Freudenberger wanted clarification if it is overhangs or massing of the building. Compton-Ring said the way it is drawn she understands it is the corner of the foundation, eight foundational corners, but she will clarify the note.</p>
APPLICANT / AGENCIES	None.
PUBLIC COMMENT	Chair Qunell opened the public hearing and no one wished to speak. Chair Qunell closed the public hearing and turned the matter over to the Planning Board for consideration.
MOTION / BOARD DISCUSSION	Chair Qunell moved and Freudenberger seconded to adopt the findings of fact within staff report WZTA 20-04, as proposed by City Staff.
VOTE	<b>The motion passed unanimously.</b> The matter is scheduled to go before the Council on October 19, 2020.
NEW BUSINESS <i>7:27 pm</i>	None.
GOOD AND WELFARE <i>7:27 pm</i>	<ol style="list-style-type: none"> <li>1. Matters from Board. Chair Qunell thanked the Architectural Review Committee members for their hard work on review of the Standards and they are very well done.</li> <li>2. Matters from Staff. Compton-Ring said the City Council will consider an Ordinance next Monday to possibly start going remote for all committee and board meetings. She thinks the boards will</li> </ol>

**ARCHITECTURAL REVIEW STANDARDS  
STAFF REPORT  
ZONING TEXT AMENDMENT; WZTA 20-04  
SEPTEMBER 10, 2020**

A report to the Whitefish Planning Board and the Whitefish City Council regarding amendments to the Architectural Review Standards. A public hearing is scheduled before the Whitefish Planning Board on September 17, 2020 and a subsequent hearing is set before the City Council on October 19, 2020.

**PROJECT SCOPE**

From the direction at the 2018 work session and City Council Goal #20-03 and portions of Goal #20-05, the Architectural Review Committee (ARC) embarked on amending the Standards with the following scope:

- Add standards for a mock-up – when it is required and what is required
- Standards for projects with multiple buildings
- Standards for accessory commercial buildings
- Refinement of standards for townhouse/duplex/triplex
- Enforcement of approvals
- Downtown Plan implementation
- Highway 93 S Corridor implementation
- Update the Standards with drawings and photos for a better final product

**BACKGROUND**

*Standards*

The City has had Architectural Review Design Standards since 2003. These Standards have evolved considerably over the years. Originally, the Standards were entirely voluntary; however, because of lack of compliance with the Standards, they were eventually made mandatory. The tone of the Standards is very flexible, and they are written to provide general guidance for maximum design flexibility versus being very specific for a particular design.

Over the years, the Architectural Review Standards have been updated and amended to:

- Add requirements for buildings greater than 10,000 square feet in the Highway District
- Add standards for multiple multi-family building projects
- Add garage-forward standards
- Overall reorganization so an applicant would only need to review the applicable design district chapter for their project

*Committee*

The Architectural Review Committee (ARC) was established in 2003 and is comprised of seven members who reside within the corporate limits of the city of Whitefish, employed or own a business in the city of Whitefish, or own property in the city of Whitefish. Two (2) members are required to be Montana licensed architects and one is required to be a licensed design professional. This year the Council amended the membership qualifications of the Committee to include licensed architects and design professionals

who reside, are employed, or own a business or property in the 59937-zip code to be a member of the Architectural Review Committee.

#### *Committee Scope of Review*

The ARC reviews Commercial, Industrial and Residential (2-unit and greater) projects. They also review additions, façade changes and re-painting projects.

#### *Committee Decisions*

The ARC is a decision-making body and acts on permits unless appealed to the Council. Council appoints the members to the ARC but does not otherwise influence their decision-making. Since the Committee's inception in 2003, the Council has only reviewed two appeals.

#### *2018 City Council Work Session*

In September 2018, the City Council and ARC held a work session to go over current Standards, propose changes (including problem areas identified by the Committee and the Council goal related to these Standards) and receive direction from the Council.

#### *2020 City Council Work Session*

The City Council and ARC held a work session on September 8, 2020 to review the draft. At that meeting, the Council was supportive of the changes as proposed. In addition, the Council had two items for future Committee work including reviewing residential projects with multiple single family homes so they do not look all the same and reviewing the process of the design changes from the City Council public hearings to actual Architectural Review submittals. These items will be put on future Architectural Review Committee agenda.

### **PUBLIC COMMENT**

The Planning Board draft was placed on the City's webpage for public review on August 28, 2020. A notice was mailed to advisory agencies and departments on August 28, 2020 and a notice was published in the Whitefish Pilot on September 2, 2020. In addition, staff emailed the draft to a list of 35 recent Architectural Review applicants that included architects, designers, and builders. We have received no comments.

### **PROPOSED AMENDMENTS**

The attached draft Standards reflect the following notable changes:

- The entire document was fully edited, as it had been piecemeal edited over the years and drafted by several different authors. The document was also slightly reorganized for ease of use. Photos, maps and drawings were added.
- References to the 'planning jurisdiction' were removed
- Recommends extending the Old Town South district south from East 6th Street to the Whitefish River instead of this area being part of the 'Highway' design district. This suggested change was made based on draft goals and objectives from the Highway 93 S Corridor Plan, which has not yet been adopted.

- Alignment with various zoning text amendments that have occurred over the years (e.g., lowering the threshold for a 'big box' CUP, integration of mixed-use/nonresidential and multi-family standards).
- Clarified the permit review process.
- Added references to sustainable materials and techniques, and Firewise references.
- Further references to enhance the pedestrian and bicycle experience throughout all the design districts.
- Added a Townhouse/Duplex/Triplex section for required minimums and graphics for further explanation.
- Added a sample site plan with narrative to improve the submittals for smaller residential projects.

See Exhibit 'A' attached to this report for the full text with all the graphics. Staff has also attached a Word version of the Standards with the ~~underline/strikeouts~~ as Exhibit 'B'. Below is a summary of the more significant changes:

#### *Chapter 1.*

- A new map showing the four design districts with updated city limits.

#### *Chapter 2.*

- This chapter was slightly re-organized to reflect the actual project review process. The requirement and standards for a Mock-Up were added (Page 4-5). A mock-up will be a requirement for very large buildings to illustrate how the materials work together and for projects where additional detailing information is needed.

#### *All Design Districts.*

- Each design district is introduced with a map showing the specific Design District along with the overall vision and goals for the district.
- References to the recently adopted Mixed-Use/Nonresidential or Multi-Family Development Standards are included in each chapter. In addition, applicable sections of those Standards are also included to provide a connection with those Standards.
- Prohibition of neon lighting, bright or flashing lighting for buildings.
- Improved overall language for landscaping across all design districts to include references to native plantings, drought tolerant plants, and considerations for plant placement.

#### *Chapter 3 – Highway District.*

- Many of the changes in this chapter are in direct response to the Highway 93 S Corridor planning draft goals and policies, including the addition of pedestrian and bicycling amenities, additional landscaping and project orientation.

#### *Chapter 4 – Old Town District.*

- In response to the Highway 93 S Corridor planning process, to acknowledge the relatively smaller lots and slower vehicle speeds, and the transitional nature to downtown compared to the Highway Commercial/WB-2 zoning further south, the Committee recommends the Old Town South District be extended along Spokane Avenue to the Whitefish River. An outline showing the boundaries of this proposed change is shown on the map.
- Updates to further implement the Downtown Master Plan including: requiring materials to also match the downtown rhythm of 25-50-feet; context for new buildings in existing blocks; and fixing the awning overhang standard to align with, instead of overhang, the curb.
- The corridor along E 2nd Street from Baker Avenue to the Whitefish River is within the Railway District but is different than the areas to the south and north off E 2nd Street. Language was updated to reflect this difference.
- Encourage outdoor spaces for residents and customers in all Districts.
- Provided a detailed awning drawing with dimensional requirements.

*Chapter 5 – Resort Community District.*

- Referenced the recently adopted Wisconsin Avenue and Highway 93 W corridor plans that share this design district.

*Chapter 6 – Residential District.*

- Developed Duplex, Townhouse, Triplex Standards. Many of the standards in Chapter 6 are geared toward larger multi-family buildings and projects. The Committee recognized a need for specific standards geared toward smaller projects that are not required by the Building Code to have an architect. Starting on page 54 (section 6.10), there are details for these projects and on page 55 there are two drawings – **Minimum Requirements** and **Enhancement Features**.

The purpose of the **Minimum Requirements** is for an applicant to know that if their building includes the following six items, along with other standards (landscaping, parking, etc.), they can be confident their project will be approved. These six features include:

- Two roof projections (one per side),
- Two roof off-sets,
- Minimum 18-inch overhangs,
- Front porch,
- Appear to be a single-family residence, and
- Eight corners.

The second drawing, **Enhancement Features**, shows other design elements an applicant might consider in their project design to bring it to the next level. Not all

enhancements are required, but one or two could help improve the design. They include:

- Chimney,
- Double fascia,
- Roof projection,
- Different siding materials for gables, main walls and wainscot,
- Trim board,
- Different side windows aligned with each other,
- Stone wainscot with cap, and
- Columns with base.

Another challenge is the development of a site plan for smaller projects. On page 47, a sample site plan is provided. This site plan notes important features to include or consider as part of the plan including the location for trash, bike racks, separate pedestrian connections from the front door to the neighborhood, and details on landscaping, fencing and other features.

We are hopeful these additional drawings will facilitate good design with the smaller projects.

*Chapter 7 – Public Institutional Facilities District.*

- No changes to the content of this chapter.

*Appendix - Glossary*

- Added a definition of "neighborhood context."

**REVIEW AND FINDINGS OF FACT**

The proposed changes shall be evaluated based on the criteria for consideration for amendments to the provisions of the Zoning Regulations per §11-7-12E, WCC.

1. *Zoning Regulations Must Be:*
  - a. *Made in Accordance with a Growth Policy*

**2007 Growth Policy:** The following goals support the Architectural Review Standards.

**Future Land Use Goal 1.** Preserve and enhance the character, qualities, and small town feel and ambience of the Whitefish community through an innovative and comprehensive growth management system.

**Future Land Use Goal 5.** Protect and preserve the special character, scale, and qualities of existing neighborhoods while supporting and encouraging attractive, well-designed, neighborhood compatible infill development.

**2018 Wisconsin Avenue Corridor Plan:** The following policies support the Architectural Review Standards.

**Policy 1.4.** Encourage development plans that incorporate native vegetation, reflect the natural landscapes of the corridor and include management practices to protect against invasive species.

**Policy 4.2.** New development should reflect neighborhood character through scale, building design, open space, landscaping and other design features identified in the Architectural Standards.

**Policy 4.7.** Design elements should include small scale, quaint, stone or timber accents that are uncluttered and well maintained.

**Policy 4.9.** Revise regulations and design standards to include all business areas in the corridor and to maintain standard that allows formula retail if plans minimize generic designs.

**Policy 6.1.** Encourage integrated designs that may include landscaping, buffers, and other designs to mitigate land use conflicts between uses of different intensities.

**Policy 6.2.** Discourage auto-oriented strip commercial and big-box development.

**2015 Highway 93 W Corridor Plan:** There are no goals or policies directed specifically at the Architectural Review Standards; however, the overall plan's emphasis includes small-scale development compatible with the neighborhood.

**2015 Downtown Master Plan:** There are no specific goals or policies directed specifically at the Architectural Review Standards; however, the plan offered suggestions for the Architectural Review Standards. Overall, the plan emphasized development that is pedestrian-friendly and compatible in scale, massing and character with existing desirable adjacent buildings.

**Finding 1:** The proposed text amendment is made in accordance with the Growth Policy because amendments proposed further the importance of Architectural Standards to maintain the small town feel and character.

- b. *Designed to:*
  - i. *Secure safety from fire and other dangers*

**Finding 2:** The proposed code will secure safety from fire and other dangers because all building code standards will continue to be met at the time of construction.

- ii. *Promote public health, public safety and general welfare*

**Finding 3:** The proposed amendment promotes public health, public safety and general welfare because it will promote the well-designed development in the City.

- iii. *Facilitate the adequate provision of transportation, water, sewerage, schools, parks and other public requirements*

**Finding 4:** The proposed code amendment has no impact on the adequate provision of transportation, water, sewerage, schools, parks and other public requirements because these improvements will be on private property and will be privately maintained.

- 2. *In the adoption of zoning regulations, the City shall consider:*
  - a. *Reasonable provision of adequate light and air*

**Finding 5:** The proposed code amendment is unrelated to reasonable provisions of adequate light and air because these are Architectural Review Design Standards. The evaluation of provision of adequate light and air will be reviewed at the time of development through zoning setbacks and the building code.

- b. *The effect on motorized and nonmotorized transportation systems*

**Finding 6:** The proposed code amendment may have a positive effect on motorized and nonmotorized transportation systems, as it is promoting design that puts pedestrians and bicyclists at the forefront. The evaluation of the effect on motorized and nonmotorized transportation systems will be reviewed at the time of development.

- c. *Promotion of compatible urban growth*

**Finding 7:** The proposed code amendment will promote compatible urban growth because it promotes neighborhood compatible design across all the design districts as the City develops and grows.

- d. *The character of the district and its particular suitability of the property for the particular uses*

**Finding 8:** The character of the district and its particular suitability of the property for the particular uses criterion is not applicable to this code amendment because it pertains to site development, not community wide development regulations.

- e. *Conserving the value of buildings and encouraging the most appropriate use of land throughout the jurisdictional area; and*

**Finding 9:** Conserving the value of buildings and encouraging the most appropriate use of land throughout the jurisdictional area criterion is not applicable to this code amendment because it does not affect the value of buildings but does encourage good design.

- f. *That historical uses and established uses patterns and recent change in use trends will be weighed equally and consideration not be given one to the exclusion of the other.*

**Finding 10:** That historical uses and established uses patterns and recent change in use trends will be weighed equally and consideration not be given one to the exclusion of the other criterion is not applicable to this code amendment because it pertains to site development not community wide development regulations.

#### **ADDITIONAL FINDINGS**

**Finding 11:** Staff finds the considerations in Section 11-7-12(E) are either met or are not applicable.

**Finding 12:** Whereas, legal public notice according to the Whitefish City Code was published in the *Whitefish Pilot* on September 2, 2020.

**Finding 13:** Whereas, staff sent a notice on August 28, 2020 to twenty-three (23) reviewing agencies, departments and other service providers regarding the Standards.

**Finding 14:** Whereas, staff sent notice to 35 architects, designers and builders on September 2, 2020 regarding the update to the Standards.

Therefore, we find it is in the best interest of the City of Whitefish and its inhabitants to amend the Architectural Review Standards.

#### **OVERALL RECOMMENDATION**

Staff recommends the Planning Board **approve** the recommendations set forth in staff report WZTA 20-04 to amend the Architectural Review Standards and adopt the findings of fact and transmit same to the Whitefish City Council for further action.

**September 9, 2020 DRAFT**  
**Architectural Review Standards**  
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<u><b>Required Mock-Up Installation .....</b></u>	<u><b>60</b></u>
<u><b>Townhouse/Duplex/Triplex Minimum Requirements.....</b></u>	<u><b>62</b></u>

Adopted: Ordinance 03-10, April 21, 2003

Amended: Ordinance 04-03, March 1, 2004; Ordinance 06-02, February 6, 2006; Ordinance 06-28, October 2, 2006; Ordinance 07-11, May 7, 2007; Ordinance 07-12, May 7, 2007; Ordinance 08-23, November 17, 2008; Ordinance 09-13, August 17, 2009

## VISION STATEMENT/PREAMBLE

The City of Whitefish is a unique and wonderful place. Beginning as a blue-collar railroad and logging town, it has achieved an additional identity as a resort destination with world-class skiing, fishing, golf, and proximity to Glacier National Park. It is a town with a rich character and heritage in its historic buildings, neighborhoods, its people and stories.

Moving into the future, we intend to continue developing a community that encourages interaction, involvement, and vitality among its people. To maintain Whitefish's character and to respond to the current challenges of rapid growth we must focus our efforts toward good planning and design.

Architecture should be a response to the site and environment as much as an organization of program within. Honesty of form, material selection and application, and structure without adding unnecessary clutter or faux components contributes to architecture that is authentic, flexible and reflective of Whitefish.

This will result in a community that preserves its diversity, welcomes visitors, and respects the physical environment that is so important to those who love Whitefish.

## **Chapter 1** **INTRODUCTION**

### **Why have design standards?**

This document presents Architectural Design Standards for building in Whitefish. They are based on a commitment to preserving the City's historic character and heritage through high quality design of new buildings.

The purpose of this document is to inform property owners about the ~~city's~~ City's design policies. Understanding these policies will help owners in making decisions about their buildings by focusing on the principles of urban design which promote an environment scaled to pedestrians, while maintaining cohesive neighborhood identity and respecting the unique qualities of Whitefish.

### **Topics Covered:**

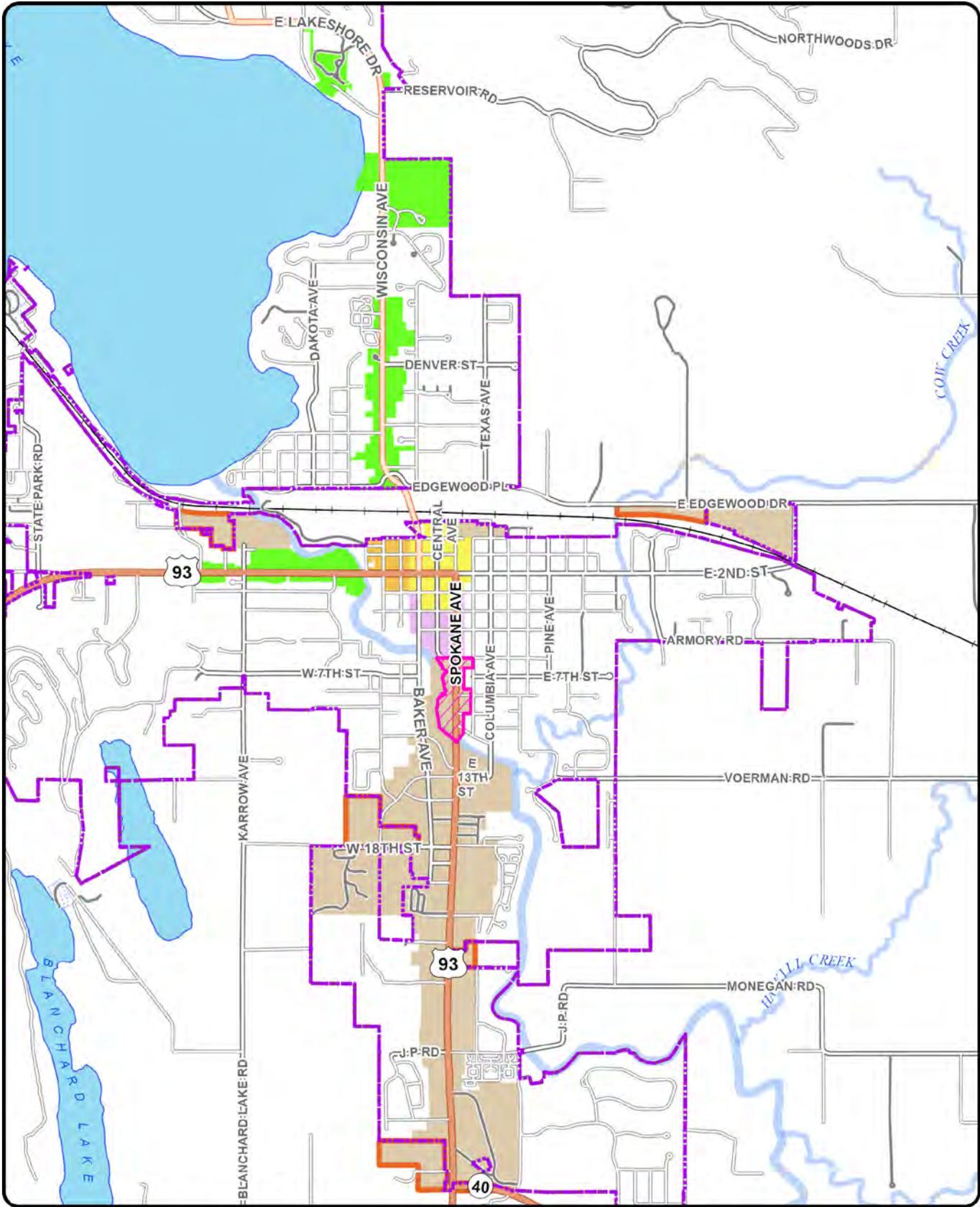
- Application and Review Process
- Site Planning
- Landscaping
- Parking
- Lighting Design
- Required Architectural Building Design Elements

### **Design Districts**

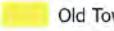
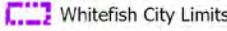
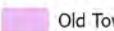
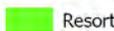
The Architectural Review Standards divide the Whitefish Planning Jurisdiction into four different Design Districts, which are identified by the unique characteristics found within each district. The boundaries of the districts are either streets or natural features, such as the Whitefish River or Whitefish Lake.

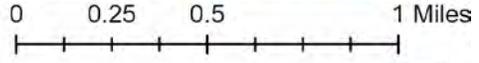
- Highway District (Highway 93 South, Highway 40 and areas zoned Industrial)
- Old Town Districts: Central, South, Railway
- Resort Community Business District (Wisconsin Avenue and Highway 93 North)
- Residential District (Duplex and Larger)

Public/Institutional facilities are located ~~within all of all the above~~ design districts. It is expected that new public facilities will fit into the design district within which they are located.



**Architectural Design Districts**

	Old Town Central District		Highway District		Whitefish City Limits
	Old Town Railway District		Highway District County		
	Old Town South District		Resort Community Business		



Date: 6/30/2020



## Chapter 2 APPLICATION AND REVIEW PROCESS

### 2.1 Introduction

The Architectural Design Standards are adopted by ordinance and have the same force of law as the City of Whitefish Zoning Regulations. The Standards contain both broader objectives and more specific architectural ~~lighting~~ guidelines than the zoning regulations.

Although the Standards are more than merely advisory, they also allow room for consideration of design proposals and creative solutions not found within the Standards. Each project is different. Therefore, some standards might be emphasized while others are de-emphasized, but no standard will be overlooked.

The objective of the Standards is to encourage quality building and development to enhance both the natural and built environments in Whitefish.

### 2.2 Become Familiar with City of Whitefish Regulations and other Plans

In addition to these Standards, other ordinances and plans adopted by the City of Whitefish may also influence the design and approval of your project. Carefully review all available written materials before starting ~~your~~the planning process.

The other ~~ordinances regulations~~ and plans to review are:

- City of Whitefish Zoning Regulations, including the:
  - Sign Ordinance
  - Landscaping Regulations
  - Parking Standards
  - Outdoor Lighting Standards
- ~~Whitefish, Blanchard and Lost Coon~~ Lakes and Lakeshore Protection Regulations (When working within 20-feet of the high-water of these lakes)
- ~~Whitefish Downtown Business District Master Plan~~
- Whitefish City-County Growth Policy, as amended
- Adopted Building Code

### 2.3 Scope

The Architectural Standards apply to construction of all new buildings:

- Commercial
- Industrial
- Residential (multi-family, triplex, duplex)
- Public
- Accessory building for Commercial, Industrial, Multi-Family or Public

Building (e.g., vehicle canopies, storage sheds, structures housing equipment, trash enclosures and open shelters)

- Additions or exterior Modifications or Alterations to Commercial, Industrial, Multi-Family or Public Buildings
- Façade Changes or Repainting of Commercial, Industrial, Multi-Family or Public Buildings

~~, including residences constructed in a commercial district, except detached single family units within the City of Whitefish zoning jurisdiction. In addition, with regard to all applicable buildings, any additions or exterior modifications or alterations will invoke compliance with the Standards for altered components. The zoning ~~Zoning administrator~~ Administrator or designee may waive this requirement if it is determined that the modification is insignificant and inconsequential to the purpose and intent of the ~~architectural~~ Architectural review ~~Review standards~~ Standards. Finally, any resumption of use after abandonment (~~See Chapter 11-7-9B of the Whitefish Zoning Ordinance~~) will require compliance with the Standards. (§11-7-9B, WCC)~~

In cases where the City Council has reviewed a building design through the Conditional Use Permit or Planned Unit Development Process, ~~the~~ City Council approval is not a final architectural review approval, but an approval of the conceptual plans. Final architectural review ~~shall be~~ is required from the Architectural Review Committee prior to submitting a building permit application.

## **2.4 How These Standards Are Organized**

The ~~standards~~ Standards are organized by Design District, as described in Chapter 1. Within each chapter, ~~the developer of a project~~ one will find standards covering a broad range of topics from site design, which includes the site, landscaping, parking and outdoor lighting to building design, which covers scale, relationship to neighborhood, shape and form and exterior materials and colors. In addition, there are standards for ~~big box stores~~ buildings greater than 10,000 square feet in the Highway District and ~~Formula~~ formula ~~Retail~~ retail standards.

Each chapter will start with a description of the Design District, its location and character. A goal for the District's evolution will be provided, followed by overarching principals and more specific standards. In addition, photos and/or drawings will be provided as examples of how the various standards can be met.

Terms considered to be mandatory, including but not limited to ~~"shall"~~ "will" and ~~"must"~~ " when used in connection with design elements, may ~~in~~ at the discretion of the Architectural Review Committee be interpreted as guidelines, if the unique features of a particular application render it in the best interest of the City of Whitefish to do so. In such a case, ~~in~~ when granting approval of an application, the Committee ~~shall~~ must adopt specific findings to justify ~~ing~~ such interpretation.

## **2.5 Architectural Review Committee**

The Architectural Review Committee (~~“(“the Committee”)~~ shall consists of seven ~~(7)~~ members. The specific make-up of the Architectural Committee is provided for in ~~Whitefish City Code §Subsection 2-10-3-A, WCC.~~

## **2.6 Utilization of Design Professionals**

~~Property owners are strongly encouraged to engage licensed professionals such as architects, engineers, and landscape architects at the beginning of the review process and encourage their participation during Committee meetings. Design professionals can facilitate an efficient review process and often will save the owner time and money. These Standards, the Committee and/or City Planning staff are not intended to take the place of professional assistance.~~

The Whitefish Building Department requires certain projects to have an architect's stamp ~~on the plans~~. These projects include commercial, industrial and multi-family (4-plex and up). An architect ~~shall~~ must be involved in the Architectural Review process for these types of projects.

~~These Standards, the Committee and/or the City Planning staff are not intended to take the place of professional assistance. Property owners are strongly encouraged to engage licensed professionals such as architects, engineers, landscape architects, etc. at the beginning of the review process. Design professionals will facilitate an efficient review process and often will save the owner time and money.~~

~~You are about to invest in your property and community — use of design professionals will help you invest wisely.~~

## **2.7 Project Review**

### 2.7.1. Informal Advice and Direction

An individual considering a development ~~activity within the City of Whitefish zoning jurisdiction~~ may consult with City planning staff for informal advice and direction. Such discussion ~~shall be~~ is treated as *advisory only* and any advice given is intended as guidance and is not binding upon the Committee or City of Whitefish. City staff may perform an informal review if an individual submits materials such as plans, ~~and a narrative~~ and a description of the project, ~~etc.~~ The more detail provided about the project the more guidance can be given.

### 2.7.2. Pre-Application Meeting with the Architectural Review Committee.

The Committee highly recommends proponents of commercial, industrial, public and multi-family (greater than a 4-plex) attend a pre-application meeting with the Committee prior to a formal application ~~(Subsection 2.7.3.)~~. Other projects have the option of attending a pre-application meeting or, if planning staff considers the project significant, may require ~~attendance of~~ a pre-application. The Committee will not approve a project at a pre-application meeting, but will discuss broad issues such as mass, scale, size, height and neighborhood context.

Conceptual building elevations, along with an application, ~~shall must~~ be ~~filed submitted according to Section 2.7.4~~. Other supporting materials for the application are not required for a pre-application meeting. Depending upon the complexity of the project, the Committee may follow-up with ~~more formal~~ written comments ~~after the meeting~~.

### 2.7.3. Formal Application

A formal application consists of a completed Architectural Review Application along with the ~~applicable supplemental application~~, supporting materials and associated fee. Incomplete applications will not be brought forth to the Architectural Review Committee until the list of items below is provided. A minimum ~~scale~~ of one-eighth inch scale for plans and elevations is required.

Supporting materials ~~shall~~ include:

- Site plan including pedestrian, bicycle and vehicular access;
- Vicinity map;
- Landscaping concept plan and materials;
- Signage concept plan;
- Parking plan;
- Elevations including the existing building if a remodel or addition is proposed;
- Schematic floor plans – including the existing building if a remodel or addition is proposed;
- Detailed architectural drawings showing building materials and their location on the building and relevant details;
- Details of exterior lighting, windows, doors and any exterior features;
- Samples or details of all materials proposed for the exterior of the building, including color chips, are required;
- A model, 3-D rendering or perspective drawing showing materials and color designations
- ~~A contextual~~ Contextual analysis of how the building relates to the neighborhood which. ~~This~~ could include photos, site sections, or other visual details;
- ~~The applicant is encouraged to bring a~~ Any other materials to further

~~thing that might~~ explain the building and site in support ~~the of its~~ design concept. This may include attendance of your design professional-

The more detail ~~and materials~~ provided in support of an application, the greater likelihood of a quicker and smoother decision-making process. Incomplete applications may be delayed until the next meeting to collect omitted material.

In addition to those supporting materials supplied at the time of application, new projects with a building footprint of 10,000 square feet (7,500 square feet in the Old Town Districts) or greater must provide a mock-up for review and approval on-site prior to material installation. In addition, the Committee, at its discretion, may require a stand-alone mock-up as a condition of approval of any project where materials submitted during the formal application period are deemed to require detailing review. See *Required Mock-Up Installation* for further instructions.

#### 2.7.4. Submittal Deadline for Formal Application or Pre-Application meeting

The applicant ~~shall~~must submit a completed application packet to the Whitefish Planning & Building Department no less than 14 days prior to the regularly scheduled meeting of the Committee. The applicant ~~shall~~must submit ~~eight copies~~one copy of the application and supporting materials and an electronic file of the entire application in pdf format. Material samples may be brought to the meeting.

#### 2.7.5. Committee Review

The Committee will review each project based on the adopted standards using the following Project Review Checklist:

- a. ~~Design Fundamentals- Design fundamentals include issues surrounding the basic requirements within the Standards, such as which area of town the project is located in, is the project proposing a garage forward design, does the project contain more than one multi-family structure, etc.~~
- b. ~~Broad Design Issues Principles: Broad design issues include mass, scale, size, height, neighborhood context, etc.~~
- c. Site and Landscape Plan
- d. Building Material Selection and Application
- e. Colors
- f. Design Details
- ~~c. —~~
- d. ~~Materials~~
- e. ~~Colors~~
- f. ~~Lighting~~

- g. ~~Site Plan~~
- h. Accessories

The purpose of the Project Review Checklist is to look at projects from the broader design standards down to the smaller details. If the Committee finds items in one category are not met, discussion in the next category may not occur until the larger issues can be resolved to the satisfaction of the Committee.

Design fundamentals include issues surrounding the basic requirements within the Standards, such as which area of town the project is located. Is the project proposing a garage forward design? Does the project contain more than one multi-family structure? What are the proposed materials and colors? How does the design solution respond to the neighborhood context, environment, history and future?

Principles of good design are the cornerstone to a vibrant, functional, and pleasing community. Projects should exhibit an understanding of procession, entry, form, space, mass, scale, hierarchy, proportion, circulation, rhythm, order, and simplicity.

Good design is cohesive and well thought through prior to submittal without key components being deferred to being resolved in the field. The purpose of the Project Review Checklist is to look at projects starting from the broader design standards down to the smaller details. If the Committee finds items in one category are not met, discussion in the next category may not be discussed until the larger issues can be resolved to the satisfaction of the Committee.

The Committee will come to one of the following decisions at the time of the meeting:

- Approval (with or without minor conditions),
- Table, pending submission of revisions or additional materials detailed at the meeting, or
- Denial

The Committee's written decisions will follow within ten business days of the decision along with findings of fact supporting the decision.

## **2.8 Expiration**

Once a project receives Architectural Review approval, it ~~shall~~will be valid for 18 months. A building permit ~~shall~~must be submitted to the City before the expiration date. The zoning administrator may grant one 6-month extension provided the applicant can demonstrate progress is being made on the project.

## **2.9 Re-Submittal of Application or Changes to an Approved Submittal**

Minor amendments to an approved ~~plan submittal shall will~~ be scheduled before the Architectural Review Committee. No additional fee ~~shall will~~ be required for this review. The applicant ~~shall will~~ be notified of the Committee's decision at the meeting and in writing after the meeting. A minor amendment is a cosmetic or aesthetic change including, but not limited to, color and material changes.

Major amendments to an approved plan, as determined by the Planning Director or designee, ~~shall must~~ be ~~required to re-submitted pursuant to Section 2.7.3.~~ and ~~pay~~ a new review fee ~~paid~~. A major amendment is a significant change including, but not limited to, a change to the site plan, the building footprint, the mass or scale of the structure.

## **2.10 Right of Appeal**

Within ~~thirty (30)~~ days of the Committee's issuance of its written decision, the applicant may appeal that decision. An appeal must be in writing and submitted to the Whitefish City Council ~~in~~ care of the Whitefish Planning Director or designee.

The appeal must itemize each part of the Committee's decision the applicant disagrees ~~with, and with and~~ provide a factual and/or legal basis for each contention.

The Whitefish City Council will consider any formal appeal within 30 days of receipt at the Whitefish Planning & Building Department. No building permit will be issued pending ~~any~~ appeal. Final Committee action will occur after the City Council makes its decision on the appeal, or after any reconsideration necessitated by that decision.

### **Chapter 3: HIGHWAY DISTRICT**

The Highway District is located along Highway 93 South from the Whitefish River to the intersection with Montana Highway 40 and is zoned WB-2: Secondary Business District, WI: Industrial and Warehousing District and WB-4: Business Park District. This area is the gateway into Whitefish. The character of this area is retail, office and light industrial uses on large lots. This area has evolved into an area predominately serving the automobile while providing limited opportunities for users of other modes of transportation such as bicyclists and pedestrians; however, this trend is changing with the installation of sidewalks and bike paths along the Whitefish River. This area typically has a need for large display, storage and/or parking areas. Areas zoned for Industrial uses ~~and properties located at the intersection of Dillon/Conn Roads and Highway 40 within the Whitefish Planning jurisdiction~~ will be reviewed under this design district section. In addition to these standards, the Mixed-Use and Non-Residential Building Development Standards (§11-3-43, WCC) apply.

Goal: The Highway District will continue to develop as an area with larger retail and services geared toward the day-to-day needs of residents and visitors of Whitefish. In addition to automobiles, sites within this area will take into consideration pedestrians and bicyclists. Sites will have significant landscaping to bring balance to larger buildings and parking areas of this district. The ~~scale of~~ buildings may be larger than those found in other areas of the ~~community, but~~ community but will continue to reflect a ~~small town~~ small-town scale.

- The Highway District is the first impression many people have of our community. Site design should include inviting features such as boulevards and well-dispersed landscaping throughout parking areas.
- Create a soft welcoming entry into our ~~city~~ City and minimize parking lot impacts. Try to design commercial development into village-type units limiting the vast expanse of unbroken facades. The use of green belts and vegetation should be used to soften these environments. This may include design of small pocket parks to encourage employees and the community to embrace the outdoor environment.
- Orient buildings toward public streets.
- Parking lots will be located to the side and rear of lots with smaller "village-type" complexes abutting the highway.
- The site design should work to buffer parking lots from neighboring properties; earth berms and hedges are useful tools in achieving this goal.
- Infill and adaptive reuse projects are encouraged and shall complement the characteristics of the existing buildings built in the District since the adoption of the Standards in 2003.

### **3.1 Site Design Standards**

3.1.0. Buildings must be arranged on the site so their orientation frames, encloses or otherwise gives prominence to a pedestrian corridor, an outdoor gathering space with outdoor seating, a "main street" pedestrian or vehicle access corridor within the site, or the corners of the street intersections or entry points into the development.

Buildings on corner lots should be oriented toward the primary intersection and the primary and secondary street frontage, while parking and auto access must be located away from the primary intersection corners.

The use of corner entrances, plazas, signage and/or landscaping is encouraged to accentuate corner sites.

Where buildings are separated from the public sidewalk along the primary street frontage, the space should contain public and pedestrian amenities. Buildings maybe separated from the sidewalk by plazas, landscaping, benches, bicycle racks, trash receptacles and other pedestrian amenities.

3.1.1 The layout of the site must consider pedestrians and bicyclists, as well as automobile traffic. Pedestrian access from adjacent sidewalks must have priority over vehicular traffic.

Consider how a pedestrian or a bicyclist would access ~~you~~the proposed site. Mixing nonmotorized transportation in the same spaces as automobile traffic can be a very unpleasant experience for both pedestrians and bicyclists. Consider alternate and/or separate routes into ~~you~~the development that clearly define the pedestrian area versus areas for vehicles.

3.1.2. Minimize the dominance of parking surfaces and structures.

Use green spaces to soften the "sea of asphalt" which often dominates commercial "strip" development. A close review of the ~~city's~~City's landscaping ordinance is highly recommended. Consider building orientation and its relationship to the entire site ~~as a whole~~.

3.1.3. All new development must invite pedestrian access.

Thoughtful site layout and the use of "green open space" should be considered included in all site planning. The front door/main entrance to a development must be easy to identify to the pedestrian and the buildings must be oriented toward the primary street front and public path and/or sidewalks. This may include providing a direct access from a public sidewalk to the front entrance.

3.1.4. Make site more appealing to pedestrian and bicycle traffic and use.

Thoughtful application of design principles and space planning can make a site more pleasant to view, and a better safer place to be. The use of courtyards, decks, traditional front porches and bicycle amenities are design tools ~~that can be used~~ to accomplish this goal. Provide bicycle parking areas. Consider protection from the weather.

3.1.5. Fencing should be of a natural material. The use of chain link and vinyl should be avoided but may be considered by the Committee.

3.1.6. Site design must consider the seasonal nature of the Whitefish climate allowing for summer enjoyment and snow storage in the winter. Also, consider southern exposure, energy costs and impact of shadows on adjacent properties.

3.1.7. Promote safe ingress and egress.

Consolidate site access to public rights-of-way to reduce congestion and the need for endless stoplights. The ~~Ce~~city seeks to promote shared access where possible.

Provide cross-property easements to share driveways and reduce the need for additional curb cuts, when feasible. (§11-3-43E(5), WCC)

### **3.2 Landscaping Design Standards for Landscaping**

Goal: Considerable investment has occurred along Highway 93 South to create an entrance into our community. It is expected those developing property in these areas will recognize this investment and meet or exceed this landscaping standard. Thoughtfully designed landscaping will contribute to a pleasing character for the development and Whitefish. Landscaping should not be used just as a visual screen but should also encourage a sense of place and connection to the environment.

Standards:

3.2.1. Preserve and maintain mature trees and existing vegetation as much as practical.

3.2.2. ~~The A~~ thoughtful selection of appropriate vegetation and landscaping materials.

The designer should carefully select hardy vegetation and materials ~~that can~~ survive our harsh climate; ~~while also. These plants should also accentuate~~ accentuating the natural beauty of our community. Use native, drought-resistant species and plants requiring low amounts of water, chemicals and fertilizers.

3.2.3. Landscaped areas must be planned as an integral part of the project, rather than simply located in the ~~left over~~left-over spaces on the site.

- 3.2.4. Landscaping should complement the architecture of the project and adjacent buildings.
- 3.2.5. Landscaping (along with the location of the building) should soften the appearance of the site as seen from the roadway.
- 3.2.6. It is beneficial and attractive to incorporate outside seating areas in the landscaping plan.
- 3.2.7. In a landscape plan, attention should be paid to the plant material's color and texture to create unity on the site. Simple masses of material with one predominant species provide unity, while accent plantings provide attractive contrasts.
- 3.2.8. Species should be planted which are suitable to the ~~size of their~~ space they will occupy when they have achieved their full growth. This includes understanding the growth of species root mass and their effect on sidewalks, utilities and building foundations.
- 3.2.9. Plants with multi-season contrast provide color and interest throughout the year. Be mindful of the change of seasons so plantings, as a group, remain attractive throughout the year, providing evergreen in winter, and color in other seasons.
- 3.2.10. Plazas and malls should be planted to reflect an informal place suited to pedestrian scale. Variety and color are encouraged.
- 3.2.11. Landscaping and earthen berms and/or sight obscuring fencings ~~shall~~ must be used to screen equipment, refuse areas and storage areas. ~~It is better to mass plant material in groups rather than locate them in a straight line which tends to look unnatural, except when required to provide a landscape buffer as defined in the~~ Whitefish Landscape Requirements. (§11-4, WCC) Ordinance.
- 3.2.12. Landscaping depicted on renderings/perspectives should be a realistic interpretation of what will be installed at the time of planting.
- 3.2.13. The final landscape, irrigation and tree preservation techniques shall be reviewed and approved by staff prior to issuance of a building permit.
- 3.2.14. Provide uniform planting of required street trees.

*Note: See Whitefish Zoning Regulations for the Landscaping requirements.*

### **3.3. Off-Street Parking Design Standards for Off-Street Parking**

Goal: Parking lots in Whitefish will be designed as a necessary appurtenance of a site and not the primary visual emphasis. Parking must be located to the side and/or rear of a building.

Standards:

- 3.3.1. The use of large parking lots as the primary feature at the entrances of businesses is strongly discouraged not allowed.
- 3.3.2. Parking ~~shall~~ must be distributed throughout the site ~~with a preference for parking and located~~ to the side and rear of the building. No parking may be located between the buildings and the primary street frontage. Parking lot design should consider a southern aspect to reduce the accumulation of ice during the winter and allow for natural melting.
- 3.3.3. Parking lots shall be designed to consider all users and not only automobiles. The development must minimize the impact of parking on the building's relationship to the street and pedestrian-oriented character and character of the neighborhood. Secure, well-lit and convenient bicycle parking and storage must be provided.
- 3.3.4. The use of side streets for the primary entrance is ~~recommended~~ required when feasible to promote safe ingress and egress, and to prevent the location of parking lots along the primary traffic artery. Provide cross-property easements to share driveways and reduce the need for additional curb cuts, when feasible. At a minimum, a pedestrian connection between parking lots between developments ~~should~~ must be explored. An automobile connection between parking lots must also be provided when feasible where physically possible.
- 3.3.5. Parking areas shall be designed to minimize the lot's visual impact, thus creating an architectural form instead of a wasteland.
- 3.3.6. Parking structures built below grade are desirable as they are less obvious to ~~passers-by, and~~ passers-by and are easier to screen with landscaping, ~~therefore are desirable.~~
- 3.3.7. Soften large parking areas with landscaping, earthen berms and pedestrian friendly features s.
- 3.3.8. The amount of unrelieved pavement on parking lots shall be limited by methods such ~~methods as~~ the use of: using landscaping, contrasting colors, and pathways of alternate paving material.

3.3.9. Landscaping treatments of parking lots should include trees both on the perimeter and interior of the lots.

3.3.10. Trees in parking lots should be protected from vehicle damage by concrete curbing or other effective means and must provide an adequate root zone uncompacted by vehicular traffic. In high traffic areas, the use of subsurface tree root protection is recommended.

*Note: See Whitefish Zoning Regulations for the Off-Street Parking requirements.*

### **3.4. Exterior Lighting Design Standards for Exterior Lighting**

Although there are many needs for lighting in our built environments, obtrusive aspects of lighting often extend well beyond the boundaries of the area in which the lighting is installed and intended for use. These obtrusive aspects, such as glare, light trespass, energy waste and sky glow, can have serious consequences for the public health, safety, and welfare. They can be effectively controlled or eliminated with carefully considered attention to design, installation, and use.

Goal: To provide thoughtfully designed outdoor lighting adequate to promote safety and security.

Standards:

3.4.1. All outdoor lighting must be carefully designed to light only the area needed for reasonable levels of safety and security. Seek to eliminate as much outdoor lighting as possible.

3.4.2. Light placement ~~shall~~must avoid placing glare on neighboring properties. Every attempt should be made to consider the impacts the additional lighting will have on the surrounding environment

3.4.3. Where appropriate, the use of ground lighting should be considered. ~~Try to~~  
Ceonsolidate exterior lighting and minimize the height and projection of the lamps where possible.

#### 3.4.4. Architectural/Building Lighting

a) Exterior lighting shall be architecturally integrated with the building style, material and colors.

b) Exterior lighting may be mounted flush or projected from the building wall.

c) Neon, bright colors or flashing lights are not acceptable building lighting and are not permitted.

### 3.4.5. Site Lighting

- a) The design of the site lighting should ~~compliment~~complement the architectural features of the building. Consider the use of the standard ~~Ceity street lights~~streetlights; however, the use of other lights may be considered by the Committee.
- b) Fixture mounting height should be appropriate for the project and the setting. Use of low, bollard-type fixtures, 3 to 4 feet in height, are encouraged as pedestrian area lighting.
- c) Raised light pole bases shall be attractively designed and well detailed to be compatible with the overall project. The use of “sonotube” (exposed concrete) ~~type concrete~~ pole bases is discouraged. These foundations, if used, need to be treated in some fashion to cover the exposed concrete.
- d) The placement of light poles within raised curb planter areas is encouraged; however, ~~but~~ conflicts with parking lot trees which can obscure the lighting should be avoided
- e) Swivel-mounted luminaries are prohibited.

*Note: See Whitefish Zoning Regulations for the Outdoor Lighting Standards.*

### **Building Design Standards**

All building designs should be a positive ~~complimentary~~complementary enhancement to the existing architecture, quality of life and character of the Whitefish community and particularly the Highway District. The positive enhancement should be reflected in the design elements of the project. These design elements are both aesthetic and practical and ~~shall~~ include: 1) scale, character and relationship to surrounding neighborhood 2) shape and form; and 3) exterior materials. Due to their massiveness, bBuildings greater than ~~1510~~10,000 square feet, ~~due to their massiveness~~, have additional design standards found in Section 3.8. Also, businesses considered formula retail (also known as franchise businesses) may not use their traditional building design or color scheme. See Section 3.9 for these ~~standards~~Standards.

### **3.5 Scale and Relationship to Surroundings**

3.5.1. All buildings must have a scale in size, height and mass that relates to the surrounding buildings and adjacent commercial development.

3.5.2. The size, height and mass must not detract from, conflict with or overwhelm the surrounding neighbors.

3.5.3. Distance from other structures and features will be considered in reviewing scale. EXAMPLE:For example, The WAVE works well at its location; however, if it were on a lot next to Taco John's Valley Glass, it would be too overwhelming.

3.5.4. Building site placement and size should minimize obstruction of views to the mountains, rivers, and lake and river.

3.5.5. Mixed-Use of Non-Residential Development Adjacent to Residential Zones. Buildings must be designed to ensure building massing, height and scale provide sensitive transition to adjoining residential neighborhoods. When abutting a residential zoning district, the project's landscaping plan must include provisions for vegetative screening between the project and the residential property.

New developments adjacent to residential areas must mitigate impact through careful site planning and architectural design. Possible mitigation techniques include, but are not limited to:

- a. Locating open space and preserving existing vegetation on the site's edges to further separate the building from less intensive uses
- b. Stepping down the massing of the building along the site's edges
- c. Limiting the length of or articulating building façade to reflect adjacent residential patterns
- d. Creative use and ongoing maintenance of landscaping such as berms, buffers, mounds, rockeries, living fences and swales designed to avoid the appearance of a straight line of "wall" of uniform plant material and must be wide enough to accommodate the mature plants.

3.5.6. Multiple Building Projects.

Buildings must exhibit a general similarity of scale, orientation, and proportion with unified natural and built features. As a rule, taller buildings must be placed toward the interior of the site and stepped back from the street. Buildings must be grouped or sited with other buildings to create distinct outdoor spaces, with distinct pedestrian connections between the buildings, parking and the street. Sites must connect to natural corridors and trail systems and must facilitate pedestrian and bicycle traffic.

Projects with multiple buildings to be built in phases on one site must include design information for each building. Initial buildings must meet all the requirements of the Architectural Review Standards. Information on buildings to be built in the future must include an entire site development narrative with a site plan indicating buildings, locations, access for parking and pedestrians, general landscaping and concept of building sizes, shapes, materials and colors.

## **3.6 Shape and Form**

All buildings shall have a shape and form regarding rooflines and massing that relates to the nearby surrounding buildings and neighborhood buildings compliant with the Architectural Design Standards. Rooflines should be pitched, pitched with false fronts, flat, flat with false fronts, and shed with false fronts, hipped, gable or gambrel. Overhanging eaves are encouraged. Flat roofs shall have parapets.

3.6.1. All remote mechanical and electrical equipment (condensers, chillers, intake/exhaust fans, cabinets, etc.) regardless of horsepower, must be enclosed within sound absorptive walls, as permitted by the Building eCode. These areas shall be located and screened so the visual and acoustic impacts of these functions are fully contained and out of view. Enclosures shall be reviewed by the Committee where applicable and the acoustic design will be reviewed and approved at the time of plans examination by the Building Department.

3.6.2. Buildings in this area are unique as they are set back a minimum of 20-20-feet from the property line. These buildings are on larger lots than downtown, and usually require large display or parking areas. Because of these conditions, these buildings are usually larger that than those of downtown. In order to maintain an aesthetic quality that is compatible with Whitefish, structures must be designed to minimize the massing of the building. This can be accomplished by breaking up large expansive walls and rooflines by adding dormers, recessed wall lines and varied roof heights.

3.6.3. Upper story windows should maintain the same vertical characteristic as downtown.

3.6.4. Store fronts must be aesthetically pleasing with covered entryways, walkways, outdoor courtyards and sitting areas.

3.6.5. Buildings must have roof designs that do not cause snow or drainage problems for themselves or adjacent buildings and sites.

3.6.6. When the backsides of buildings face a street (as ign Baker St.Avenue) they must be aesthetically developed. Large blank walls with no detail are not acceptable.

3.6.7. Upper story balconies are encouraged.

### **3.7 Exterior Materials (color and texture)**

3.7.1. Exterior finish building materials shall be of a nature in color and texture that is complimentary/complementary with the structures within each building district. They shall not clash, detract or conflict with adjacent buildings compliant with the Architectural Design Standards.architecture.

- 3.7.2. Acceptable exterior cladding materials should include ~~standard sized~~properly scaled brick, 1x4, 1x6 or 1x8 horizontal natural wood siding, sawn shingles, 1x6 or 1x8 vertical channel natural siding, 1x8 to 1x12 vertical board and batten natural wood siding with 1x2 batts, natural stone veneers, and stucco with wood trim. Other fire resistant and ecological friendly materials may be considered.
- 3.7.3. Wood shingles, vertical wood siding and boards with batts are acceptable in gables and upper portions of walls.
- 3.7.4. Exposed plain concrete block or vinyl cladding are not allowed. Metal siding, Exterior Insulation Finish System (EIFS), composite siding and stone panels are discouraged but may be used at the discretion of the Committee.
- 3.7.5. Acceptable roofing materials shall be ~~sawn wood shingles~~, asphalt composition shingles, metal, ~~or~~ appropriate flat roofing, or other technologically advanced products such as solar roof tiles are encouraged.
- 3.7.6. Roofing shall be of colors that complement neighboring structures.
- 3.7.7. Mirrored and tinted glazing is ~~discouraged~~not allowed. ~~The tinting of~~ Low-E glass is acceptable. Vision glass on building sides facing streets is encouraged.
- 3.7.8. Exterior classic details and elements such as brackets, cornices, window trim, and wall corner boards are encouraged.
- 3.7.9. Higher quality and easily maintained materials are strongly recommended.

**3.8 COMMERCIAL Commercial DESIGN Design STANDARDS Standards FOR for BUILDINGS Buildings 1510,000 SQUARE Square FEET Feet OR or GREATER Greater**

As Whitefish is generally characterized by buildings small in scale; ~~therefore~~, buildings with a footprint of ~~45~~10,000 square feet or greater require an extra level of review to ensure they fit into the community. Additional site and design components will be required as part of the overall design of the site.

3.8.1. Site Design Standards

- a) Landscaping. The parking lot landscaping requirements shall be twice the amount required under ~~§Section 11-6-5, WCC of the Whitefish City Code.~~
- b) Pedestrian and Bicycle Amenities.

*Pedestrian Lanes Required*

Walkways shall be integrated into the design of the site. The location of the walkways ~~shall~~must maximize the ability of a pedestrian to safely maneuver through the parking lot by serving the greatest number of

parking spaces and walking to adjacent land uses. Their location ~~shall~~ must consider adjoining properties, and the location of transit/~~Snow~~ Shuttle Network of Whitefish (SNOW) Bus stops. At a minimum, the pedestrian lane ~~shall~~ must connect the building with the parking lot and the street.

Connections shall be separated from the parking lots and drive aisles by grade, landscaping or other techniques and shall be a minimum of ~~six-6-~~ six-6- feet wide. Such connections shall continue across driving lanes by use of a material other than asphalt. Acceptable material choices include concrete, ~~or~~ or colored concrete with textures imbedded into the concrete. Painted stripes are not ~~an acceptable material~~.

Every parking lot ~~shall~~ must have at least one pedestrian lane. Additional pedestrian lanes ~~shall~~ must be provided at a ratio of one lane per four rows of parking.

*~~Bicycle Parking Required~~*

A bicycle rack shall be provided with a minimum of four parking stalls. Bicycle facilities should be shared among adjoining establishments. Bicycle racks which only support a bicycle front or rear wheel are not permitted. The rack ~~shall~~ must be securely mounted to the ground and covered. Bicycle parking spaces should be ~~two-2-~~ two-2- feet by ~~six-6-~~ six-6- feet with no less than a ~~seven-foot~~ seven-foot overhead and a ~~five-foot~~ five-foot maneuvering aisle behind each row of bicycle parking. A bicycle parking area should be separated from a motor vehicle parking area by a barrier, post or bollard, or by at least ~~five-5-~~ five-5- feet of open space behind the maneuvering area. Bicycle facilities should be well-lit and located no further from a public entrance than the nearest non-handicapped parking stall. If public bicycle parking is not clearly visible from the main ~~entrance~~ entrance, then directional signs should be provided.

c) Transit/Snow Bus Stops— If a transit/~~Snow~~ SNOW Bus stop is located on the site or if there are plans to permanently establish a stop on the site (contact the ~~Whitefish Mountain Resort~~ SNOW Bus and Eagle Transit), the following standards shall be designed into the site:

- i) The plaza for the stop shall be sized to accommodate pedestrians using the sidewalk as well as those waiting for the bus and the required amenities. The plaza shall be no smaller than 200 square feet and shall be designed in contrasting materials.
- ii) Seating for a minimum of three people shall be incorporated into the plaza. More seating may be needed based on the usage of the stop. ~~A place for ski equipment to be secured shall be incorporated into the design of the plaza.~~
- iii) Each plaza shall include a refuse container.

- iv) Each plaza shall incorporate a shelter for skiers and a place for snowsport equipment to be secured. The shelter shall be installed and paid for by the developer. The shelter design will be determined by the City.
  - v) Dark sky compliant lighting shall be incorporated into the transit/Snow Bus stop.
  - vi) Transit/~~Snow~~ SNOW Bus stops shall have a pedestrian connection to the main building on-site either through a sidewalk adjacent to a right-of-way or through a separated pedestrian lane.
  - vii) Maintenance of the plaza shall be the responsibility of the property owner(s).
- d) Service, Loading, and Refuse Areas. Service, loading and refuse areas are a required component of any building but can severely detract from the design of the building and the pedestrian experience. Service and loading areas shall not be located between the building and the street unless there is no possible alternative location. Refuse shall not be located between the front of the building and the street. In no instance shall refuse and service/loading areas be located adjacent to residentially zoned areas.

Screening of refuse containers and service areas from public view shall be required in the form of dense landscaping and/or walls constructed of a complementary color and material to the main building and shall be no less than ~~six~~ 6-feet tall.

3.8.2. Building Design. Avoid flat walls through building modulation to reduce the mass and bulk of the structure. This can be achieved by utilizing the following:

- Building setbacks on upper floor levels;
- Corners shall have special massing and architectural treatment;
- Building ornamentation;
- Varying roof lines, pitches, and shapes;
- Vertical modulation to break down the scale of large one-story;
- Overhangs, awnings and marquees;
- Dormers, balconies, porches, staircases; and/or
- Window and door fenestration.

- a) Building Equipment. Building equipment located on the top or sides of buildings shall be completely screened from view.
- b) Blank Wall Limitation. In order to reduce blank wall impacts on the pedestrian and business environment, buildings shall employ a cohesive design strategy to mitigate their appearance every ~~forty~~ 40-feet. These items may include but are not limited to ~~to~~ recessed walls, projections, reveals, projecting ribs, windows, display cases, landscaping, trellises, or other architectural features.  
  
Secondary walls more than ~~fifteen~~ 15-feet in length without windows, entry, architectural features or modulations shall not face any street (public or private), alley or parking lot.
- c) Materials. Use ~~of~~ aesthetically pleasing and compatible materials and colors. This could include brick, wood, sandstone, other native stone and tinted, textured concrete masonry units. Prohibited materials ~~include~~ include —smooth faced concrete block, concrete tilt-up and prefabricated steel panels. For larger projects, approved materials must be presented in a mock-up. See Appendix B.
- d) Entryways. Careful consideration shall be given to the design of the entryway. Incorporated ~~f~~Features ~~to incorporate~~ may include canopies or porticoes, overhangs, recesses or projections; arcades, peaked roof forms; display windows and integral planters.
- e) Buildings on Corners. Buildings on corners shall be located as close to the right-of-way as possible in order to frame the street. Special architectural elements shall be incorporated to accentuate the building's prominent location.

### **3.9 Formula Retail Design Standards**

Commercial uses meeting the zoning definition of "formula retail" (also known as franchise retail uses) are expected to minimize generic and corporate images, but instead express the architectural elements and forms that best express the values and heritage of the community.

3.9.1. Formula retail ~~shall~~ must not use standard corporate building shapes, forms and rooflines ~~are not allowed~~.

3.9.2. Formula retail color schemes are not acceptable.

## Chapter 4 OLD TOWN DISTRICT

The Old Town District is the main downtown area of Whitefish and is zoned WB-3: General Business District. This area is the center of financial, retail, commercial, governmental, professional, institutional and cultural activities for the community. The character of the area is retail, professional office and residential uses. This area is also the focus of the *Downtown Business Master Plan*, which reinforces the downtown as the center of the community and identifies certain public and private investments in order to maintain the strength of the downtown. The intent of the Old Town District is to blend the existing historical feel of the area with new small professional offices s-space and light retail. In order to maintain the sense of the area as a small community within a community, the emphasis on vehicular traffic should be downplayed in design.

There are three distinct Design Districts within the Old Town District —These are the Central, South and Railway Districts.

The *Central District* is located on Central Avenue between East 4th<sup>th</sup> Street and Depot Streets, west side of Spokane Avenue between East 4th<sup>th</sup> Street and East 3rd<sup>rd</sup> Streets, both sides of Spokane Avenue from East 3rd<sup>rd</sup> Street to Depot Street, east side of Baker Avenue between East 4th<sup>th</sup> Street and East 3rd<sup>rd</sup> Streets, both sides of Baker Avenue between East 3rd<sup>rd</sup> Street and Railway Streets. This area is the heart of the Old Town District and is characterized by 1-½ to 2 story mixed-use buildings with retail on the main floor and offices or residential on the 2<sup>nd</sup> story.

The *South District* is located along the east side of Spokane Avenue between East 3rd<sup>rd</sup> Street and East 4th<sup>th</sup> Streets, both sides of Spokane Avenue from East 4th<sup>th</sup> Street to the Whitefish River, Central Avenue between East 4th<sup>th</sup> Street and East 7th<sup>th</sup> Streets; the west side of Baker Avenue between East 3rd<sup>rd</sup> Street and East 4th<sup>th</sup> Streets, and both sides of Baker Avenue from East 4th<sup>th</sup> Street to the Whitefish River. Although some of this area is zoned for commercial uses, these areas were originally residential and functions as a transition from the Downtown to the Highway 93 South Corridor.

The *Railway District* is located on bounded by Railway Street to East 3rd<sup>rd</sup> Street and the east side of Miles Avenue to Lupfer Avenue. This area is characterized as historic residential with small scale buildings. The front yard setbacks are defined by the predominate front setback along the block in order to maintain the residential character of the district.

Finally, in addition to these standards, the Mixed-Use and Non-Residential Building Development Standards (§11-3-43, WCC) apply.

Goal: The Old Town District will continue to develop in a manner that respects the mass and scale of the existing buildings, the character of the downtown and the community vision. New buildings shall respect the uniqueness within each of each of the distinct design districts will continue to be respected for their uniqueness.

- ~~Development must~~ Maintain a strong pedestrian scale and. ~~All new development should must~~ focus on the people using the structure.
- ~~Show~~ Respect should be shown for the existing grid and neighborhood layout.
- New design should enhance the existing pedestrian walkways and serve to facilitate foot and bicycle traffic.
- Buildings should address the street and be designed to pull the interest of the users and ~~to~~ act as a focal point of the greater neighborhood.
- ~~Particular design~~ Design attention should be paid to the pedestrian building interface.
- The use of awnings and covered walkways are encouraged to promote ~~year~~ year-round use.
- Alleys should be considered for primary entrances and utilized as alternate commercial spaces.
- Consider the pedestrian and cyclist as ~~your~~ the primary user in all design. Avoid allowing the car and parking to *drive* design.
- Infill and adaptive reuse projects are encouraged and shall complement the characteristics of the existing buildings built in the District, including those built in the District since the adoption of the Standards in 2003.

#### **4.1 Site Design Standards**

##### 4.1.1. All new development must invite pedestrian access.

Thoughtful site layout and the use of “green open space” should be considered included in all site planning. The front door/main entrance to a development must be easy to identify to the pedestrian and the buildings must be oriented toward the primary street front and public path and/or sidewalks. This may include providing a direct access from a public sidewalk to the front entrance.

##### 4.1.2. Make site more appealing to pedestrian and bicycle traffic and use.

Thoughtful application of design principles and space planning can make a site more pleasant to view, and a better, safer place to be. The use of courtyards, decks, traditional front porches and bicycle amenities are design tools that can ~~be used to~~ accomplish this goal. Consider protection from the weather.

4.1.3. Site design must consider the seasonal nature of the Whitefish climate allowing for summer enjoyment and snow storage in the winter. Also, consider southern exposure, energy costs and impact of shadows on adjacent properties

4.1.4. Fencing should be of a natural material. The use of chain link and vinyl should be avoided but may be considered by the Committee.

## **4.2 Landscaping Design Standards for Landscaping**

Goal: Thoughtfully designed landscaping will contribute to a pleasing character for the development and Whitefish. Landscaping should not only be used ~~just~~ as a visual screen but should ~~also~~ encourage a sense of place and connection to the environment. Landscaping is not required for sites in the Old Town District with buildings ~~that build~~ built lot line to lot line; however, well placed flower baskets, window boxes, hanging plants, green roofs ~~and or~~ other opportunities for landscaping in the Old Town Central District are highly encouraged ~~when not required~~.

Standards:

4.2.1. Preserve and maintain mature trees and existing vegetation as much as practical.

4.2.2. ~~The~~ A thoughtful selection of appropriate vegetation and landscaping materials.

The designer should carefully select hardy vegetation and materials to thrive in our harsh climate, while accentuating the natural beauty of our community. Use native, drought-resistant species and plants requiring low amounts of water, chemicals and fertilizers. ~~The designer should carefully select hardy vegetation and material that can survive our harsh climate. These plants should also accentuate the natural beauty of our community.~~

4.2.3. Landscaped areas must be planned as an integral part of the project, rather than simply located in the ~~left over~~ left-over spaces on the site. ~~On s~~ For sites that are not required to provide landscaping, project proponents should look for opportunities to integrate landscaping in the site ~~through the use of~~ using planter boxes, hanging baskets or other creative means.

4.2.4. Landscaping should complement the architecture, building a cohesive relationship between the indoor and outdoor spaces ~~the architecture of the project and adjacent buildings~~.

4.2.5. It is beneficial and attractive to incorporate outside seating areas in the landscaping plan.

4.2.6. In a landscape plan, attention should be paid to the plant material's color and texture to create unity on the site. Simple masses of material with one predominant species provide unity, while accent plantings provide attractive

contrasts. Smaller spaces may be enhanced by the use of more compact varieties and a mixture of textures.

- 4.2.7. Species should be planted which are suitable to the ~~size of their~~ space they will occupy when they have achieved their full growth. This includes understanding the growth of species root mass and their effect on sidewalks, utilities and building foundations.
- 4.2.8. Plants with multi-season contrast provide color and interest throughout the year. Be mindful of the change of seasons so plantings, as a group, remain attractive throughout the year, providing evergreen in winter, and color in other seasons.
- 4.2.9. Plazas and malls should be planted to reflect an informal place suited to pedestrian scale. Variety and color are encouraged.
- 4.2.10. Landscaping and sight obscuring fencings must be used to screen equipment, refuse areas and storage areas. ~~It~~ is better to mass plant material in groups rather than locate them in a straight line which tends to look unnatural, except when required to provide a landscape buffer as defined in the Whitefish Landscape Ordinance Requirements (§11-4, WCC).
- 4.2.11. Landscaping depicted on renderings/perspectives should be a realistic interpretation of what will be installed at the time of planting.
- 4.2.12. The final landscape, irrigation and tree preservation techniques shall be reviewed and approved by staff prior to issuance of a building permit.
- 4.2.13. Provide uniform planting of required street trees.

*Note: See Whitefish Zoning Regulations for the Landscaping requirements.*

### **4.3. Off-Street Parking Design Standards for Off-Street Parking**

Parking lots in the Old Town Districts are not required unless there is a residential component to the development. Off-street parking developed on these lots will be at a much smaller scale than those found along Highway 93 South and may be designed off an alley, as opposed to ~~off~~ the street.

Goal: Parking lots in the Old Town District will be designed to maintain the continuity of the active pedestrian streetscape.

Standards:

- 4.3.1. Locate a parking facility at the interior of a block and off an alley whenever possible. Parking shall be distributed throughout the site with a preference for parking to the rear of the building. Parking lots shall not be placed at corners, as these areas are generally more visible than interior lots, serve as landmarks and

frame intersections. If this is the only place for parking, added pedestrian features shall be integrated into the corner such as a bench, plaza, art or an exceptional landscape feature.

- 4.3.2. The use of large parking lots as the primary feature at the entrances of business is ~~strongly discouraged~~not allowed. Where a parking lot abuts a public sidewalk a 5-foot wide landscaped buffer ~~shall~~must be provided, according to the zoning, and consideration should be given to incorporating a low wall, no greater than 42-inches. Such a wall could be also be designed as seating.
- 4.3.3. ~~New~~ Curb cuts and/or driveways ~~that would eliminate~~ing on-street parking spaces are not allowed in the Old Town Central District and the Old Town Railway District unless there is no alley access available. Restricting parking access on streets important for commercial retail reduces the impact of automobiles, improves auto circulation, preserves on-street parking and creates a more pleasant environment for pedestrians.
- 4.3.4. The use of side streets for the primary entrance is ~~recommended~~required when feasible to promote safe ingress and egress, and to prevent the location of parking lots along the primary traffic artery. Provide cross-property easements to share driveways and reduce the need for additional curb cuts, when feasible. Parking lot design should consider a southern aspect to reduce the accumulation of ice during the winter and allow for natural melting.
- 4.3.5. Parking structures built below grade are less obvious to passers-by, and are easier to screen with landscaping, therefore are desirable.
- 4.3.6. Soften parking areas with landscaping, earthen berms and pedestrian friendly features.
- 4.3.7. The amount of unrelieved pavement on parking lots shall be limited by methods such ~~methods as~~ the use of: using landscaping, contrasting colors, and pathways of alternate paving material.
- 4.3.8. Landscaping treatments of parking lots should include trees both on the perimeter and interior of the lots.
- 4.3.9. Trees in parking lots shall be protected from vehicle damage by concrete curbing or other effective means and must provide an adequate root zone uncompacted by vehicular traffic. In high traffic areas, the use of subsurface tree root protection is recommended.

*Note: See Whitefish Zoning Regulations for the Off-Street Parking requirements.*

#### 4.4. ~~Exterior Lighting Design Standards for Exterior Lighting~~

Although there are many needs for lighting in our built environments, obtrusive aspects of lighting often extend well beyond the boundaries of the area in which the lighting is installed and intended for use. These obtrusive aspects, such as glare, light trespass, energy waste and sky glow, can have serious consequences for the public health, safety, and welfare. They can be effectively controlled or eliminated with carefully considered attention to design, installation, and use.

Goal: To provide thoughtfully designed outdoor lighting adequate to promote safety and security.

Standards:

4.4.1. All outdoor lighting must be carefully designed to light only the area needed for reasonable levels of safety and security. Seek to eliminate as much outdoor lighting as possible.

4.4.2. Light placement ~~shall~~must avoid placing glare on neighboring properties. Every attempt should be made to consider the impacts the additional lighting will have on the surrounding environment

4.4.3. Where appropriate, the use of ground lighting should be considered. ~~Try to~~  
eConsolidate exterior lighting and minimize the height and projection of the lamps where possible.

#### 4.4.4. Architectural/Building Lighting

a) Exterior lighting shall be architecturally integrated with the building style, material and colors.

b) Exterior lighting may be mounted flush or projected from the building wall.

c) Neon, bright colors or flashing lights are not acceptable building lighting and are not permitted.

ed) Awnings in the Central District shall be lit underneath to ~~insure~~ensure adequate light on the sidewalks, but the awnings ~~shall~~must not be internally illuminated.

#### 4.4.5. Site Lighting

a) The design of the site lighting should ~~compliment~~complement the architectural features of the building. Consider the use of the standard ~~e~~City street lights~~streetlights~~; however, the use of other lights may be considered by the Committee.

- b) Fixture mounting height should be appropriate for the project and the setting. Use of low, bollard-type fixtures, 3 ~~to~~ 4 feet in height, are encouraged as pedestrian area lighting.
- c) Raised light pole bases shall be attractively designed and well detailed to be compatible with the overall project. The use of "sonotube" (exposed concrete) ~~type concrete~~ pole bases is discouraged. These foundations, if used, need to be treated in some fashion to cover the exposed concrete.
- d) The placement of light poles within raised curb planter areas is encouraged; ~~however, but~~ conflicts with parking lot trees which can obscure the lighting should be avoided
- e) Swivel-mounted luminaires are prohibited.

*Note: See Whitefish Zoning Regulations for the Outdoor Lighting Standards.*

## **Building Design Standards**

All building project designs should be a positive ~~complimentary~~complementary enhancement to the existing architecture, quality of life and character of the Whitefish community and particularly the Old Town District. The positive enhancement should be reflected in the design elements of the project. These design elements are both aesthetic and practical and shall include: 1) scale, character and relationship to surrounding neighborhood; 2) shape and form; and 3) exterior materials; color and texture.

### **4.5 Scale and Relationship to Surroundings**

- 4.5.1. All buildings must have a scale in size, height and mass that relates to the surrounding buildings and adjacent commercial development.
- 4.5.2. The size, height and mass must not detract from, conflict with or overwhelm the surrounding neighbors.
- 4.5.3. Distance from other structures and features will be considered in reviewing scale. ~~EXAMPLE: For example, T~~the existing railroad station works well at its location; however, if it were on a lot next to ~~Casey's~~the library, it would ~~be too~~ overwhelming ~~ing the library~~.
- 4.5.4. Building site placement and size should minimize obstruction of views to mountains, ~~Whitefish r~~Rivers, and ~~Whitefish #~~Lake.
- 4.5.5. Mixed-Use of Non-Residential Development Adjacent to Residential Zones. Buildings must be designed to ensure building massing, height and scale provide sensitive transition to adjoining residential neighborhoods. When abutting a

residential zoning district, the project's landscaping plan must include provisions for vegetative screening between the project and the residential property.

New developments adjacent to residential areas must mitigate impact through careful site planning and architectural design. Possible mitigation techniques include, but are not limited to:

- a. Locating open space and preserving existing vegetation on the site's edges to further separate the building from less intensive uses
- b. Stepping down the massing of the building along the site's edges
- c. Limiting the length of or articulating building façade to reflect adjacent residential patterns
- d. Creative use and ongoing maintenance of landscaping such as berms, buffers, mounds, rockeries, living fences and swales designed to avoid the appearance of a straight line of "wall" of uniform plant material and must be wide enough to accommodate the mature plants.

#### 4.5.6. Multiple Building Projects.

Buildings must exhibit a general similarity of scale, orientation, and proportion with unified natural and built features. As a rule, taller buildings must be placed toward the interior of the site and stepped back from the street. Buildings must be grouped or sited with other buildings to create distinct outdoor spaces, with distinct pedestrian connections between the buildings, parking and the street. Sites must connect to natural corridors and trail systems and must facilitate pedestrian and bicycle traffic.

Projects with multiple buildings to be built in phases on one site must include design information for each building. Initial buildings must meet all the requirements of the Architectural Review Standards. Information on buildings to be built in the future must include an entire site development narrative with a site plan describing buildings, locations, access for parking and pedestrians, general landscaping and concept of building sizes, shapes, materials and colors.

## **4.6 Shape and Form**

All buildings shall have a shape and form regarding rooflines and massing that relates to the surrounding buildings and neighborhood. Rooflines should be pitched, pitched with false fronts, flat, flat with false fronts, and shed with false fronts, hipped, gable or gambrel. Overhanging eaves are encouraged. Flat roofs shall have parapets facing streets.

- 4.6.1. All remote mechanical and electrical equipment (condensers, chillers, intake/exhaust fans, cabinets, etc.) regardless of horsepower, must be enclosed within sound absorptive walls, as permitted by ~~code~~the Building Code. These areas shall be located and screened so the visual and acoustic impacts of these functions are fully contained and out of view. Enclosures shall be reviewed by

the Committee where applicable and the acoustic design will be reviewed and approved at the time of plans examination by the Building Department.

4.6.2. Old Town Central District (~~Central Avenue between 4<sup>th</sup> Street and Depot Street, west side of Spokane Avenue between 4<sup>th</sup> Street and 3<sup>rd</sup> Street, both sides of Spokane Avenue 3<sup>rd</sup> Street to Depot Street, east side of Baker Avenue between 4<sup>th</sup> Street and 3<sup>rd</sup> Street, both sides of Baker Avenue between 3<sup>rd</sup> Street and Railway Street~~)

- a) Regarding shape and form, many of the original downtown façade and rooflines are examples to look toward regarding new construction in this area.
- b) The buildings in this area are one and two story and create a rhythm of ~~25-50 foot~~25 to 50-foot width storefronts with rectangular plans unless the applicant can show an acceptable alternative. These features ~~should~~shall be maintained and can be achieved with exterior material application, although actual building heights are regulated per ~~Code §Section 11-2L-4, WCC~~.
- c) New construction façades should relate to other buildings in the block with a height that falls within an acceptable historic range. As part of the submittal, the proposed building must be shown within the block of the existing buildings.
- d) Although zero setbacks on the main entry facades are typical and should be maintained, recessed courtyards, porches, stoops and sitting areas will be considered on a case-by-case basis.
- e) Recessed entry doors with large display windows maintain the typical Whitefish main street storefront.
- f) Upper second story windows should be smaller than the main level windows and vertical in shape.
- g) 75% of the ground-floor lineal street frontage should have openings for doors and windows. Ground floor glazing should be clear. Non-transparent and reflective or opaque glazing is not permitted.
- h) Ground floor active edges help reinforce the continuity of pedestrian-active building uses connects street-level activity and accessibility. Buildings should be designed to accommodate single or multiple tenants. Street frontage walls shall include doors and windows or be designed so they can be added when space is converted to active building uses.
- i) Awnings over sidewalks are desirable. In neighborhoods where awnings are the norm, new construction shall conform. The objective of awnings is to create a continuous covered shopping arcade; therefore, fixed canopies and

awnings are preferred. Such awnings should be constructed of wood, although fabric construction may be acceptable on certain projects. Attention to support post detail is important. The posts must be of high quality and architectural significance (nominal 6-x-6 or 8-x-8 typical) or log (6 to ~~10~~ 10-inch diameter typical). Posts must be set on concrete or stone piers raised a minimum of ~~8-8~~ 8-8 inches above sidewalk or grade. Post base and cap details are required and must be presented for approval. Awnings must have an open structure with no ceilings imposed. Awning heights must be related to adjacent awnings, with a recommended minimum beam height of ~~9'9"-6"~~ 9'9"-6", ~~and"~~ and recommended minimum clearance for hanging signs of ~~7'7"-6"-"~~ 7'7"-6"-". Awning heights must relate to adjacent awnings and must line up with the edge of the curb extend 6 inches minimum beyond edge of sidewalk toward the street, with a typical distance between columns and building walls of ~~8-~~ feet'-0". Awnings must reflect historic form and shapes.

- j) Buildings must have roof designs that do not cause snow and drainage problems for themselves or adjacent buildings and sites.
- k) New, and when possible, remodeled buildings should have a minimum of ~~11-~~ feet'-0" floor-to-ceiling heights on the ground floor to promote attractive retail spaces.
- l) Alley façades are encouraged to be developed as an attractive integrated component of the building.
- m) When building on corner lots, consideration should be given to corner entrances with storefront windows that extend along both street facades. Small towers or turrets above corner entrances should also be considered.
- n) Second story balconies are encouraged.

n)o) Outdoor courtyards and sitting areas are encouraged

4.6.3. Old Town South District ~~(the east side of Spokane Ave. between 3<sup>rd</sup> Street and 4<sup>th</sup> Street, both sides of Spokane Avenue from 4<sup>th</sup> Street and the river, Central Ave. between 4<sup>th</sup> Street and 7<sup>th</sup> Street; the west side of Baker Avenue along the between 3<sup>rd</sup> Street and 4<sup>th</sup> Street, and both sides of Baker Avenue from 4<sup>th</sup> Street to the river)~~

- a) Although zoned for businesscommercial, ~~these areas were originally residential and new construction within this district should remain residential in shape and form~~ this area is designed with smaller-scale commercial buildings in keeping with original residential character.

- b) New construction in this area should follow the typical rooflines that include pitched, hipped, gable and gambrel. New roof pitches should stay within the existing roof pitches of 3:12 to 12:12.
- c) Use of dormers is encouraged.
- d) Buildings plans should be primarily rectangular.
- e) Single ~~&and~~ 1-½ story detached secondary buildings along the alley side are appropriate. Aesthetic consideration must be given to alley side facades.
- f) Covered entry porches, ~~and~~ stoops and outdoor courtyards/sitting areas are encouraged.

#### 4.6.4. Old Town Railway District (~~Railway Street to 3<sup>rd</sup> Street, Miles Avenue to Lupfer~~)

- a) Buildings in this district must maintain the historical residential character of the area. Building roofs should pitch to the sides and not to the front or rear. This general form should remain.
- a)b) Lots fronting on the Highway must be designed to frame the street and may not necessarily have a primarily residential character. These buildings are the gateway into the downtown and may have a traditional downtown roof design with flat roofs and parapets.
- b)c) Entrances front Front porches and stoops are required at entrances.
- e)d) Detached garages and storage buildings of 1 &and 1-1/2-½ story with pitched roofs are encouraged.
- d)e) Outdoor courtyards and sitting areas at the rear of the buildings are acceptableencouraged.
- e)f) Bay windows and flower boxes are encouraged.

### **4.7 Exterior Materials (color and texture)**

- 4.7.1. Exterior finish building materials should be of a nature in color and texture ~~that is~~ complimentarycomplementary with the structures within each building district. They shall not clash, detract or conflict with adjacent architecture.
- 4.7.2. Acceptable exterior cladding materials should include ~~standard sizedproperly~~ scaled brick, 1x4, 1x6 or 1x8 horizontal natural wood siding, sawn shingles 1x6 or 1x8 vertical channel natural siding, 1x8 to 1x12 vertical board and batten natural wood siding with 1x2 batts, natural stone veneers, and stucco with wood trim. Other fire resistant and ecological friendly materials may be considered.

- 4.7.3. Wood shingles, vertical wood siding and boards w/ batts are acceptable in gables and upper portions of walls.
- 4.7.4. Exposed plain concrete block, and vinyl cladding are not allowed. Metal siding, Exterior Insulation finish System (EIFS), composite siding and stone panels are discouraged but may be used at the discretion of the Committee.
- 4.7.5. Acceptable roofing materials shall be ~~sawn wood shingles~~, asphalt composition shingles, metal, ~~or appropriate flat roofing~~, or other technologically advances products such as solar roof tiles are encouraged.
- 4.7.6. Roofing shall be of colors that ~~compliment~~complement neighboring structures.
- 4.7.7. Mirrored and tinted glazing is ~~discouraged~~not allowed. ~~The tinting of~~ Low-E glass is acceptable. Vision glass on building sides facing streets is required.
- 4.7.8. Exterior classic details and elements such as brackets, cornices, window trim, and wall corner boards are encouraged.
- 4.7.9. Higher quality and easily maintained materials are strongly encouraged.

## **Chapter 5: RESORT COMMUNITY BUSINESS DISTRICT**

The Resort Community Business District is ~~comprised of divided into~~ two corridors. One corridor is located along Wisconsin Avenue/East Lakeshore Drive from the viaduct to the north and the other is West 2<sup>nd</sup> Street from the Whitefish River to the west. Both ~~of these~~ corridors are located along state highways and have adopted corridor plans – Wisconsin Avenue Corridor Plan (2018) and the Highway 93 West Corridor Plan (2015). This District is for those areas zoned WB-1: Limited Business District, Limited Resort Business District: WRB-1, General Resort Business District: WRB-2 or with a multi-family designation that could be developed into offices (WR-3 and WR-4) along these two corridors. The character of these areas include small scale commercial and professional office uses interspersed with a variety of residential types. The Wisconsin Avenue corridor is evolving into providing resort-oriented and neighborhood services with multi-family while the West 2<sup>nd</sup> Street corridor is evolving into an area with small professional offices and multi-family space. Finally, in addition to these standards, the Mixed-Use and Non-Residential Building Development Standards (§11-3-43, WCC) apply.

Goal: The Resort Community Business Districts will develop as areas with smaller scale buildings in order to be good neighbors to residential areas located immediately adjacent to these corridors. Parking areas will be sited in order to not conflict with surrounding residential neighborhoods. Sites will be designed to accommodate bicyclists and pedestrians. Ample landscaping will be installed – especially to screen undesirable qualities of commercial uses from adjoining residential areas.

- Review the existing examples of successful residential conversions.
- Developments along the Wisconsin Avenue and West 2nd Street corridors have historically developed with larger setbacks from the highway. In order to preserve a landscaped entrance into the downtown core and retain a residential feel, development should continue this pattern by setting new construction as far back as possible on the lot with landscaping and/or courtyards in front rather than parking.
- Orient buildings toward public streets.
- Include design of small pocket parks to encourage employees and the community to embrace the outdoor environment.
- When constructing new parking consider the use of a landscape buffer to minimize impact on neighboring properties.
- When selecting a building envelope consider its relationship to the lot with respect to scale. Consider staggering the structures in the new development.

- Protect the neighborhoods' existing character by using existing shapes, forms, and structural elements. Use the existing character of the neighborhood as a context for all new development. Do not use new construction to redefine the feeling and presence of the neighborhood.
- Infill and adaptive reuse projects are encouraged and shall complement the characteristics of the existing buildings built in the District.

## **5.1 Site Design Standards**

5.1.0. Buildings must be arranged on the site so their orientation frames, encloses or otherwise gives prominence to a pedestrian corridor, an outdoor gathering space with outdoor seating, a "main street" pedestrian or vehicle access corridor within the site or the corners of the street intersections or entry points into the development.

Buildings on corner lots should be oriented toward the primary intersection and the primary and secondary street frontage, while parking and auto access must be located away from the primary intersection corners

The use of corner entrances, plazas, signage and/or landscaping is encouraged to accentuate corner sites.

Where buildings are separated from the public sidewalk along the primary street frontage, the space should contain public and pedestrian amenities. Buildings may be separated from the sidewalk by plazas, landscaping, benches, bicycle racks, trash cans and other pedestrian amenities.

5.1.1. The layout of the site must consider pedestrians and bicyclists, as well as automobile traffic. Pedestrian access from adjacent sidewalks must have priority over vehicular traffic. Consider protection from the weather.

Consider how a pedestrian or a bicyclist would access ~~your~~the proposed site. Mixing nonmotorized transportation in the same spaces as automobile traffic can be a very unpleasant experience for both pedestrians and bicyclists. Consider alternate and/or separate routes into ~~your~~the development that clearly define the pedestrian area versus areas for vehicles.

5.1.2. Minimize the dominance of parking surfaces and structures.

Use green spaces to soften the "sea of asphalt" which often dominates commercial "strip" development. A close review of the ~~city's~~City's landscaping ordinance is highly recommended. Consider building orientation and its relationship to the entire ~~site-as-a-whole~~.

5.1.3. All new development must invite pedestrian access.

Thoughtful site layout and the use of “green open space” should be considered included in all site planning. The front door/main entrance to a development must be easy to identify to the pedestrian and the buildings must be oriented toward the primary street front and public path and/or sidewalks. This may include providing a direct access from a public sidewalk to the front entrance.

5.1.4. Make site more appealing to pedestrian and bicycle traffic and use.

Thoughtful application of design principles and space planning can make a site more pleasant to view, and a better, safer, place to be. The use of courtyards, decks, traditional front porches and bicycle amenities are design tools that can ~~be used to~~ accomplish this goal. Consider protection from the weather.

5.1.5. Fencing should be of a natural material. The use of chain link and vinyl should be avoided but may be considered by the Committee.

5.1.6. Site design must consider the seasonal nature of the Whitefish climate allowing for summer enjoyment and snow storage in the winter. Also, consider southern exposure, energy costs and impact of shadows on adjacent properties

Apply design principles that maximize the seasonal nature of our climate.

5.1.7. Promote safe ingress and egress.

Consolidate site access to the public rights-of-way to reduce congestion and the need for endless stoplights. The ~~city~~ City seeks to promote shared access where possible.

Provide cross-property easements to share driveways and reduce the need for additional curb cuts, when feasible. (§11-3-43E(5), WCC)

## **5.2 Landscaping Design Standards for Landscaping**

Goal: Thoughtfully designed landscaping will contribute to a pleasing character for the development and Whitefish. Landscaping should not be used just as a visual screen but should also encourage a sense of place and connection to the environment.

Standards:

5.2.1. Preserve and maintain mature trees and existing vegetation as much as practical.

5.2.2. ~~The~~ A thoughtful selection of appropriate vegetation and landscaping materials.

The designer should carefully select hardy vegetation and materials to survive our harsh climate, while also accentuating the natural beauty of our community.

~~Use native, drought-resistant species and plants requiring low amounts of water, chemicals and fertilizers. The designer should carefully select hardy vegetation and material that can survive our harsh climate. These plants should also accentuate the natural beauty of our community.~~

- 5.2.3. Landscaped areas must be planned as an integral part of the project, rather than simply located in the ~~left over~~left-over spaces on the site.
- 5.2.4. Landscaping should complement the architecture of the project and adjacent buildings enhancing the indoor-outdoor relationship.
- 5.2.5. Landscaping (along with the location of the building) should soften the appearance of the site as seen from the roadway.
- 5.2.6. It is beneficial and attractive to incorporate outside seating areas in the landscaping plan.
- 5.2.7. In a landscape plan, attention should be paid to the plant material's color and texture to create unity on the site. Simple masses of material with one predominant species provide unity, while accent plantings provide attractive contrasts.
- 5.2.8. Species should be planted which are suitable to the ~~size of their~~ space they will occupy when they have achieved their full growth. This includes understanding the growth of species root mass and their effect on sidewalks, utilities and building foundations.
- 5.2.9. Plants with multi-season interest provide color and interest throughout the year. Be mindful of the change of seasons so plantings, as a group, remain attractive throughout the year, providing evergreen in winter, and color in other seasons.
- 5.2.10. Plazas and malls should be planted to reflect an informal place suited to pedestrian scale. Variety and color are encouraged.
- 5.2.11. Landscaping and earthen berms and/or sight obscuring fencings must be used to screen equipment, refuse areas and storage areas. It is better to mass plant material in groups rather than locate them in a straight line which tends to look unnatural, except when required to provide a landscape buffer as defined in the ~~Whitefish~~ Landscape Ordinance Requirements (§11-4, WCC).
- 5.2.12. Landscaping depicted on renderings/perspectives should be a realistic interpretation of what will be installed at the time of planting.

5.2.13. The final landscape, irrigation and tree preservation techniques shall be reviewed and approved by staff prior to issuance of a building permit.

5.2.14. Provide uniform planting of required street trees.

*Note: See Whitefish Zoning Regulations for the Landscaping requirements.*

### **5.3. Off-Street Parking Design Standards for Off-Street Parking**

Goal: Parking lots in Whitefish will be designed as a necessary appurtenance of a site and not the primary visual emphasis.

Standards:

5.3.1. The use of large parking lots as the primary feature at the entrances of businesses es is strongly discouraged.

5.3.2. When possible locate parking to the rear or side of buildings, unless it is adjacent to a residential use or residential district. If parking is proposed adjacent to residential, it needs to be screened ~~through the use of~~ fencing and landscaping. The siting of parking lots is regulated through the off-street parking chapter of the zoning.

5.3.3. Parking lots shall be designed to consider all users and not only automobiles. The development must minimize the impact of parking on the building's relationship to the street and pedestrian-oriented character and character of the neighborhood. Secure, well-lit and convenient bicycle parking and storage must be provided.

5.3.4. Provide cross-property easements to share driveways and reduce the need for additional curb cuts, when feasible. At a minimum, a pedestrian connection between parking lots between developments should be explored. Parking lot design should consider a southern aspect to reduce the accumulation of ice during the winter and allow for natural melting.

5.3.5. Parking areas shall be designed to minimize the ~~lot's~~ lot's visual impact, thus creating as much as possible an architectural form instead of a wasteland.

5.3.6. Parking structures built below grade are less obvious to passers-by, and are easier to screen with landscaping, therefore are desirable.

5.3.7. Soften large parking areas with landscaping, earthen berms and pedestrian friendly features s.

5.3.8. The amount of unrelieved pavement on parking lots shall be limited by methods such ~~methods as~~ the use of ~~using~~ landscaping, contrasting colors, and pathways of alternate paving material.

5.3.9. Landscaping treatments of parking lots should include trees both on the perimeter and interior of the lots.

5.3.10. Trees in parking lots shall be protected from vehicle damage by concrete curbing or other effective means and must provide an adequate root zone uncompacted by vehicular traffic. In high traffic areas, the use of subsurface tree root protection is recommended.

*Note: See Whitefish Zoning Regulations for the Off-Street Parking requirements.*

#### **5.4 Exterior Lighting Design Standards for Exterior Lighting**

Although there are many needs for lighting in our built environments, obtrusive aspects of lighting often extend well beyond the boundaries of the area in which the lighting is installed and intended for use. These obtrusive aspects, such as glare, light trespass, energy waste and sky glow, can have serious consequences for the public health, safety, and welfare. They can be effectively controlled or eliminated with carefully considered attention to design, installation, and use.

Goal: To provide thoughtfully designed outdoor lighting adequate to promote safety and security.

Standards:

5.4.1. All outdoor lighting must be carefully designed to light only the area needed for reasonable levels of safety and security. Seek to eliminate as much outdoor lighting as possible.

5.4.2. Light placement ~~shall~~ must avoid placing glare on neighboring properties. Every attempt should be made to consider the impacts the additional lighting will have on the surrounding environment

5.4.3. Where appropriate, the use of ground lighting should be considered. ~~Try to~~ consolidate exterior lighting and minimize the height and projection of the lamps where possible.

5.4.4. Architectural/Building Lighting

a) Exterior lighting shall be architecturally integrated with the building style, material and colors.

b) Exterior lighting may be mounted flush or projected from the building wall.

c) Neon, bright colors or flashing lights are not acceptable building lighting and are not permitted.

#### 5.4.5. Site Lighting

- a) The design of the site lighting should ~~compliment~~complement the architectural features of the building. Consider the use of the standard ~~City street lights~~streetlights; however, the use of other lights may be considered by the Committee.
- b) Fixture mounting height should be appropriate for the project and the setting. Use of low, bollard-type fixtures, 3- ~~to~~ 4-feet in height, are encouraged as pedestrian area lighting.
- c) Raised light pole bases shall be attractively designed and well detailed to be compatible with the overall project. The use of ~~“sonotube”~~ (exposed concrete) ~~type concrete~~ pole bases is discouraged. These foundations, if used, need to be treated in some fashion to cover the exposed concrete.
- d) The placement of light poles within raised curb planter areas is encouraged; ~~however, but~~ conflicts with parking lot trees which can obscure the lighting should be avoided.
- e) Swivel-mounted luminaires are prohibited.

*Note: See Whitefish Zoning Regulations for the Outdoor Lighting Standards.*

### **Building Design Standards**

All building project designs should be a positive ~~complimentary~~complementary enhancement to the existing architecture, quality of life and character of the Whitefish community and particularly the Resort Community Business District. The positive enhancement should be reflected in the design elements of the project. These design elements are both aesthetic and practical and shall include: 1) scale, character and relationship to surrounding neighborhood; 2) shape and form; and 3) exterior materials. Also, businesses considered formula retail (also known as franchise businesses) may not use their traditional building design or color scheme. See Section 5.8 for these standards.

### **5.5 Scale and Relationship to Surroundings**

5.5.1. All buildings must have a scale in size, height and mass that relates to the ~~immediate~~ surrounding buildings and adjacent commercial development and neighborhood.

5.5.2. The size, height and mass must not detract from, conflict with or overwhelm the surrounding neighbors. Taller buildings must be stepped down to neighboring less high buildings.

5.5.3. Distance from other structures and features will be considered in reviewing scale.

5.5.4. Building site placement and size should minimize obstruction of views to mountains, Whitefish rRivers, and Whitefish #Lake.

5.5.5. Mixed-Use of Non-Residential Development Adjacent to Residential Zones. Buildings must be designed to ensure building massing, height and scale provide sensitive transition to adjoining residential neighborhoods. When abutting a residential zoning district, the project's landscaping plan must include provisions for vegetative screening between the project and the residential property.

New developments adjacent to residential areas must mitigate impact through careful site planning and architectural design. Possible mitigation techniques include, but are not limited to:

- a. Locating open space and preserving existing vegetation on the site's edges to further separate the building from less intensive uses
- b. Stepping down the massing of the building along the site's edges
- c. Limiting the length of or articulating building façade to reflect adjacent residential patterns;
- d. Creative use and ongoing maintenance of landscaping such as berms, buffers, mounds, rockeries, living fences and swales designed to avoid the appearance of a straight line of "wall" of uniform plant material and must be wide enough to accommodate the mature plants.

5.5.6. Multiple Building Projects.

Buildings must exhibit a general similarity of scale, orientation, and proportion with unified natural and built features. As a rule, taller buildings must be placed toward the interior of the site and stepped back from the street. Buildings must be grouped or sited with other buildings to create distinct outdoor spaces, with distinct pedestrian connections between the buildings, parking and the street. Sites must connect to natural corridors and trail systems and must facilitate pedestrian and bicycle traffic.

Projects with multiple buildings to be built in phases on one site must include design information for each building. Initial buildings must meet all the requirements of the Architectural Review Standards. Information on buildings to be built in the future must include an entire site development narrative with a site plan describing buildings, locations, access for parking and pedestrians, general landscaping and concept of building sizes, shapes, materials and colors.

## **5.6 Shape and Form**

All buildings shall have a shape and form regarding rooflines and massing that relates to the surrounding buildings and neighborhood. Rooflines should be pitched, pitched with false fronts, flat, flat with false fronts, and shed with false fronts, hipped, gable or gambrel. Overhanging eaves are encouraged. Flat roofs shall have parapets.

- 5.6.1. All remote mechanical and electrical equipment (condensers, chillers, intake/exhaust fans, cabinets, etc.) regardless of horsepower, must be enclosed within sound absorptive walls as permitted by the Building eCode. These areas shall be located and screened so the visual and acoustic impacts of these functions are fully contained and out of view. Enclosures shall be reviewed by the Committee where applicable and the acoustic design will be reviewed and approved at the time of plans examination by the Building Department.
- 5.6.2. Although business buildings are permitted in this area, it is historically a residential neighborhood and new construction in this district must respect the residential character in style, scale and form.
- 5.6.3. New construction in this district should follow the typical rooflines, which include pitched, hipped, gable, and sheds with overhangs or false fronts. New roof pitches should stay within the existing roof pitches of 3:12 to 12:12.
- 5.6.4. Large massive roofs should be avoided. When large floor plans are required, roofs must be broken up with elements such as dormers, hips and pitched entries.
- 5.6.5. Rear façades of buildings facing alleys or streets must be given aesthetic considerations.
- 5.6.6. Front porches and covered entries are recommended.
- 5.6.7. Courtyard and sitting areas away from the street side are encouraged.
- 5.6.8. Expansive blank walls are not allowed.
- 5.6.9. Large display windows facing a main street at the first story, as in the downtown area, are allowed. All other windows on sidewall and upper stories should be vertical in orientation.

## **5.7. Exterior Materials ~~(color and texture)~~**

- 5.7.1. Exterior finish building materials should be of a nature in color and texture that is complimentary/complementary with the structures within each building district. They shall not clash, detract or conflict with adjacent architecture.
- 5.7.2. Acceptable exterior cladding materials should include standard-sized properly scaled brick, 1x4, 1x6 or 1x8 horizontal natural wood siding, sawn shingles 1x6 or 1x8 vertical channel natural siding, 1x8 to 1x12 vertical board and batten natural wood siding with 1x2 batts, natural stone veneers, and stucco with wood trim. Other fire resistant and ecological friendly materials may be considered.

- 5.7.3. Wood shingles, vertical wood siding and boards w/ batts are acceptable in gables and upper portions of walls.
- 5.7.4. Exposed plain concrete block, and vinyl cladding are not allowed. Metal siding, Exterior Insulation Finish System (EIFS), composite siding and stone panels are discouraged but may be used at the discretion of the Committee. (Exception: residential buildings of 2two or more -units ~~or more~~ when located in a strictly residential district may utilize composite sidings such as fiber cement if compatible with neighboring structures.)
- 5.7.5. Acceptable roofing materials shall be ~~sawn wood shingles~~, asphalt composition shingles, metal, ~~or~~ appropriate flat roofing, or other technologically advances products such as solar roof tiles are encouraged.
- 5.7.6. Roofing shall be of colors that ~~compliment~~complement neighboring structures.
- 5.7.7. Mirrored and tinted glazing is ~~discouraged~~not allowed. ~~The tinting of~~ Low-E glass is acceptable. Vision glass on building sides facing streets is encouraged.
- 5.7.8. Exterior classic details and elements such as brackets, cornices, window trim, and wall corner boards are encouraged.

5.7.9. Higher quality and easily maintained materials are strongly encouraged.

## **5.8. Formula Retail Design Standards**

Commercial uses meeting the zoning definition of "formula retail" (also known as franchise retail uses) are expected to minimize generic and corporate images, but instead express the architectural elements and forms that best express the values and heritage of the community.

5.8.1. Formula retail ~~shall~~must not use standard corporate building shapes, forms and rooflines ~~are not allowed~~.

5.8.2. Formula retail color schemes are not acceptable.

## **Chapter 6: Residential District**

The Residential Standards apply to structures of two-dwelling-unit dwellings or more structures in the Whitefish Planning jurisdiction. The Residential District is everything all areas within the city limits planning jurisdiction without another design district designation. There are a variety of two family and multifamily zoning categories within the Whitefish Planning Jurisdiction where these standards apply. In addition, if someone is proposing a residential use within one of the other design districts requires compliance with, these standards would apply along with the applicable design district standards. In addition to these standards, the Multi-Family Development Standards (§11-3-42, WCC) apply.

Goal: Multi-family development in Whitefish will be designed to suit the neighborhood where it is located, relate to the street and surroundings and meet the needs of the residents.

- Consider vertical relief when laying out building footprints on the lot.
- Maximize the use of parking to the rear of the lot and the use of alleys for entrances.
- Incorporate usable on-site pedestrian spaces.
- Reduce the prominence of the garage and parking pavement in neighborhood design. Locate garages behind the primary structure on the lot or setback from the front foundation line of the structure. Parking pavement should not extend to the front door. Use alleys wherever possible for the primary entrances to on-site parking. If this is not feasible, employ design standards described below in Section 6.6.3.

### **6.1 Site Design Standards**

6.1.1. The layout of the site must consider pedestrians and bicyclists, as well as automobile traffic. Pedestrian access from adjacent sidewalk must have priority over vehicular traffic. Provide each building with direct and distinct pedestrian access from the street fronting the building and the parking areas. A bicycle parking area must be provided. Consider protection from the weather.

Consider how a pedestrian or a bicyclist would access your the proposed site. Mixing nonmotorized transportation in the same spaces as automobile traffic can be a very unpleasant, and potentially dangerous, experience for pedestrians and bicyclists. Consider alternate and/or separate routes into your the development that clearly define the pedestrian area versus areas for vehicles.

6.1.2. Minimize the dominance of parking surfaces and structures.

Use green spaces to soften the ~~“sea of asphalt”~~ ~~which often dominates commercial “strip” development~~. A close review of the ~~city’s~~ City’s landscaping ordinance is highly recommended. Consider building orientation and its relationship to the entire site as a whole.

- 6.1.3. All new development must invite pedestrian access and be oriented to public streets. Design alternate and/or separate routes into the development clearly defining bicycle and pedestrian areas versus areas for vehicles.

Thoughtful site layout and the use of ~~“green open space”~~ should be considered included in all site planning. The front door/main entrance to a development must be easy to identify to the pedestrian. This may include providing a direct access from a public sidewalk or street to the front entrance.

- 6.1.4. Make site more appealing to pedestrian and bicycle traffic and use.

Thoughtful application of design principles and space planning can make a site more pleasant to view, and a better, ~~and~~ safer place to be. The use of courtyards, decks, traditional front porches and bicycle amenities are design tools that can ~~be used to~~ accomplish this goal. Consider protection from the weather and provide safe, visible well-lit locations. Where feasible, designs shall encourage front yard and outdoor spaces for barbequing, sitting, gardening and playing.

- 6.1.5. Fencing should be of a natural material. The use of chain link and vinyl should be avoided but may be considered by the Committee.

- 6.1.6. Site design must consider the seasonal nature of the Whitefish climate allowing for summer enjoyment and snow storage in the winter. Also, consider southern exposure, energy costs and impact of shadows on adjacent properties.

Apply design principles that maximize the seasonal nature of our climate.

- 6.1.7. Promote safe ingress and egress.

Consolidate site access to public rights-of-way to reduce congestion and the need for endless stoplights. The ~~city~~ City seeks to promote shared access where possible.

Provide for cross-property easement to share driveway and reduce the need for additional curb-cuts when feasible. (§11-3-42C, WCC)

- 6.1.8. Buildings shall be oriented for privacy, both within the project and to the adjacent neighborhood.

## **6.2 Landscaping Design Standards for Landscaping**

Goal: Thoughtfully designed landscaping will contribute to a pleasing character for the development and Whitefish. Landscaping should not be used just as a visual screen but should also encourage a sense of place and connection to the environment.

6.2.1. Landscaped areas must be planned as an integral part of the project, rather than simply located in the ~~left over~~left-over spaces on the site.

6.2.2. ~~The~~A thoughtful selection of appropriate vegetation and landscaping materials.

~~The designer should carefully select hardy vegetation and materials that can survive our harsh climate; these plants should also accentuate the natural beauty of our community. Use native, drought-resistant species and plants requiring low amounts of water, chemicals and fertilizers. Designs should have the ability to be maintained reasonably weed free. The designer should be careful to select hardy vegetation and material that can survive our harsh climate. These plants should also accentuate the natural beauty surroundings our community.~~

6.2.3. Preserve and maintain mature trees and existing vegetation as much as practical.

6.2.4. Landscaping should complement the architecture of the project and adjacent buildings.

6.2.5. Landscaping (along with the location of the building) should soften the appearance of the site as seen from the roadway.

6.2.6. It is beneficial and attractive to incorporate outside ~~seating~~ areas in the landscaping plan such as trellises, low planters, walls, seating areas, porches or balconies.

6.2.7. Consider wildflower gardens, rain gardens or vegetable gardens with designed planting beds and features such as rocks or sculptures in lieu of front lawns. Alternatives to traditional lawn grasses include low mow Fescue grass mixes, native and non-native perennial ground-covers such as thyme, chamomile, sea thrift, Scotch moss, creeping potentilla, sedums and other perennial ground-covers; combinations of ground-covers will increase resiliency to drought and pests.

6.2.~~7~~8. In a landscape plan, attention should be paid to the plant ~~material's~~ material's color and texture to create unity on the site. Simple masses of material with one predominant species provide unity, while accent plantings provide attractive contrasts.

6.2.89. Species should be planted which are suitable to the ~~size of their~~ space they will occupy when they have achieved their full growth. This includes understanding the growth of species root mass and their effect on sidewalks, utilities and building foundations.

6.2.910. ~~Plants with multi-season interest provide color and interest throughout the year. Be mindful of the change of seasons so that plantings, as a group, remain attractive throughout the year, providing evergreen in winter, and color in other seasons.~~

6.2.4011. Plazas should be planted to reflect an informal place suited to pedestrian scale. Variety and color are encouraged.

6.2.4412. Landscaping and earthen berms and or sight obscuring fencings must be ~~is~~ used to screen equipment, refuse areas, and storage areas. ~~I, etc.~~ it is better to mass plant material in groups rather than locate them in a straight line which tends to look unnatural, except when required to provide a landscape buffer as defined in the Whitefish Landscape Ordinance Requirements. (§11-4, WCC)

6.2.4213. Landscaping plans submitted for review and approval should be consistent with materials presented for Architectural Review approval. This includes location and size of planting beds and specific tree and shrub species.

6.2.4314. The final landscape, irrigation and tree preservation techniques shall be reviewed and approved by staff prior to issuance of a building permit.

6.2.15. Provide uniform planting of required street trees.

*Note: See Whitefish Zoning Regulations for the Landscaping requirements.*

### **6.3. Off-Street Parking Design Standards for Off-Street Parking**

Goal: Parking in the Residential District will be designed as a necessary appurtenance of a site and not the primary visual emphasis. The effect of driveways and parking lots on the public and neighboring properties must be minimized by designing, locating and screening parking lots, carports and garages in a way to create few interruptions on the street, sidewalk and building facades.

Surface Parking:

6.3.1. Parking areas shall be designed to minimize the lot's visual impact, thus creating ~~as much as possible~~ an architectural form instead of a wasteland as much as possible.

6.3.2. Parking lots shall be designed to consider all users and not only automobiles. Secure, well-lit and convenient bicycle parking and storage must be provided.

- 6.3.3. Parking ~~shall~~ must be distributed throughout the site with a preference for parking to the side ~~and or~~ rear of the building or under the building. Such parking should be accessed from alley-type driveways. Shared driveways between adjacent uses is preferred. Parking lot design should consider a southern aspect to reduce the accumulation of ice during the winter and allow for natural melting.
- 6.3.4. Parking structures built below grade are less obvious to passers-by, and are easier to screen with landscaping, therefore are desirable.
- 6.3.5. Soften large parking areas with landscaping, earthen berms and pedestrian friendly features.
- 6.3.6. The amount of unrelieved pavement on parking lots shall be limited by methods such ~~methods~~ as: using landscaping, contrasting colors, and pathways of alternate paving material.
- 6.3.7. Parking lots shall be designed with adequate landscaping to avoid the appearance of a sea of asphalt.
- 6.3.8. Landscaping treatments of parking lots should include trees both on the perimeter and interior of the lots.
- 6.3.9. Trees in parking lots shall be protected from vehicle damage by concrete curbing or other effective means and must provide an adequate root zone uncompacted by vehicular traffic. In high traffic areas, the use of subsurface tree root protection is recommended.

*Note: See Whitefish Zoning Regulations for the Off-Street Parking requirements.*

#### **6.4. Exterior Lighting Design Standards for Exterior Lighting**

Although there are many needs for lighting in our built environments, obtrusive aspects of lighting often extend well beyond the boundaries of the area in which the lighting is installed and intended for use. These obtrusive aspects, such as glare, light trespass, energy waste and sky glow, can have serious consequences for the public health, safety, and welfare. They can be effectively controlled or eliminated with carefully considered attention to design, installation, and use.

Goal: To provide thoughtfully designed outdoor lighting adequate to promote safety and security.

Standards:

- 6.4.1. All outdoor lighting must be carefully designed to light only the area needed for reasonable levels of safety and security. Seek to eliminate as much outdoor lighting as possible.

~~6.4.2. Although there are many needs for lighting in our built environments, obtrusive aspects of lighting often extend well beyond the boundaries of the area in which the lighting is installed and intended for use. These obtrusive aspects, such as glare, light trespass, energy waste and sky glow, can have serious consequences for the public health, safety, and welfare. They can be effectively controlled or eliminated with carefully considered attention to design, installation, and use.~~

6.4.32. Light placement ~~shall~~ must avoid placing glare on neighboring properties. Every attempt should be made to consider the impacts the additional lighting will have on the surrounding environment

6.4.43. Where appropriate, the use of ground lighting should be considered. ~~Try to~~ consolidate exterior lighting and minimize the height and projection of the lamps where possible.

6.4.54. Architectural/Building Lighting.

a) Exterior lighting shall be architecturally integrated with the building style, material and colors.

b) Exterior lighting may be mounted flush or projected from the building wall.

b)c) Neon, bright colors or flashing lights are not acceptable building lighting and are not permitted.

6.4.65. Site Lighting

a) The design of the site lighting should ~~compliment~~ complement the architectural features of the building. Consider the use of ~~the City standards~~ street light streetlights; however, the use of other lights may be considered by the Committee.

b) Fixture mounting height should be appropriate for the project and the setting. Use of low, bollard-type fixtures, 3 to 4 feet in height, are encouraged as pedestrian area lighting.

c) Raised light pole bases shall be attractively designed and well detailed to be compatible with the overall project. The use of "sonotube" (exposed concrete) ~~type concrete~~ pole bases is discouraged. These foundations, if used, need to be treated in some fashion to cover the exposed concrete.

d) The placement of light poles within raised curb planter areas is encouraged, but conflicts with parking lot trees which can obscure the lighting should be avoided

- e) Swivel-mounted luminaires are prohibited.

*Note: See Whitefish Zoning Regulations for the Outdoor Lighting Standards.*

## **Building Design Standards**

All building project designs should be a positive ~~complimentary~~complementary enhancement to the existing architecture, quality of life and character of the Whitefish community and particularly the Residential District. The positive enhancement should be reflected in the design elements of the project. These design elements are both aesthetic and practical and shall include: 1) scale, character and relationship to surrounding neighborhood; 2) shape and form; and 3) exterior materials. Projects with more than one multi-family structure are required to complement the existing neighborhood in mass and scale and have a varying exterior appearance. These standards can be found under Section 6.6.2. In addition, multi-family structures, including duplex/townhouses with garages designed forward of the main foundation of the structure generally lack connectivity to the neighborhood and street. This design is prohibited in Whitefish unless it is unavoidable, then the standards in Section 6.6.3. shall be met.

### **6.5. Scale and Relationship to Surrounding Neighborhood**

6.5.1. All buildings must have a scale in size, height and mass that is compatible, complementary to and relates to the immediate surrounding buildings and neighborhood.

6.5.2. The size, height and mass must not detract from, conflict with or overwhelm the surrounding neighbors. This can be accomplished by breaking up a multi-family structure into house size building elements, especially where there is a building height transition from adjoining developments, and using the existing separation pattern and orientation of buildings in the adjacent neighborhood to establish the pattern of the new development. Taller buildings must be stepped down when adjacent to neighboring buildings that are not as tall.

6.5.3. Articulation and modulation of buildings and rooflines reduces perceived building bulk and scale.

6.5.~~34~~. Distance from other structures and features will be considered in reviewing scale. Design multi-family buildings to 'step back' from abutting lower density properties to better fit into the existing neighborhood.

6.5.~~45~~. Building site placement and size should minimize obstruction of views to mountains, Whitefish rRivers, and Whitefish lLake.

6.5.6. Projects with multiple buildings to be built in phases on one site must include design information for each of the buildings. Initial buildings must meet all the

requirements of the Architectural Review Standards. Information on buildings to be built in the future must include an entire site development narrative with a site plan describing buildings, locations, access for parking and pedestrians, general landscaping and concept of building sizes, shapes, materials and colors.

## **6.6. Shape and Form**

All buildings shall have a shape and form regarding rooflines and massing that relates to the surrounding buildings and neighborhood. Rooflines should be pitched, pitched with false fronts, ~~flat, flat with false fronts~~, and shed with false fronts, hipped, gable or gambrel. Overhanging eaves are encouraged.

6.6.1. All remote mechanical and electrical equipment (condensers, chillers, intake/exhaust fans, cabinets, etc.) regardless of horsepower, must be enclosed within sound absorptive walls as permitted by the Building eCode. These areas shall be located and screened so the visual and acoustic impacts of these functions are fully contained and out of view. Enclosures shall be reviewed by the Committee where applicable and the acoustic design will be reviewed and approved at the time of plans examination by the Building Department.

6.6.2. Multi-Family Developments-

In any development containing more than one multi-family and/or townhouse structure, the ~~Architectural Review Committee shall~~ following details are reviewed:

Buildings must exhibit a general similarity of scale, orientation, and proportion with unified natural and built features. Buildings must be grouped or sited with other buildings to create distinct outdoor spaces. Sites must connect to natural corridors and trail systems and must facilitate pedestrian and bicycle traffic.

As a general rule, taller buildings must be placed toward the interior of the site and stepped back from the street.

~~b~~Buildings must ~~plans for such structures to assure that there is~~ provide visual variety in exterior appearance from other multi-family structures in the same development. The primary objective of this standard is to avoid visual monotony among multi-family structures while encouraging a common ~~high quality~~high-quality design theme. If two or more developments containing more than one multi-family and/or townhouse structure occur ~~in close proximity to~~near one another, the Architectural Review Committee shall review building plans for such structures to assure that they are all substantially different from similar multi-family structures in a neighboring development. The intent of these requirements is to create variety and visual interest among all units in a development containing multi-family structures, or multi-family development located ~~in close proximity to~~near one another. All design elements can be utilized to create a substantially varied exterior appearance, including but not limited to the following:

- Color (although by itself is not enough to create substantial difference in exterior appearance)
- Texture
- Materials
- Orientation on the site
- Height
- Mass
- ~~Color (although by itself is not sufficient to create substantial difference in exterior appearance)~~
- ~~Texture~~
- ~~Materials~~
- ~~Orientation on the site~~
- ~~Rooflines~~
- Scale
- Shape
- Form
- Façade Modulation
- Roof Articulation
- Articulation of Building Materials and Elements
- Transition Spaces
- ~~Design~~
- ~~Height~~
- ~~Mass~~
- ~~Scale~~
- ~~Shape~~
- ~~Form~~

### 6.6.3. Garage Forward Designed Structures.

Garage forward designed residential units generally lack connectivity to the street and neighborhood. When streets are more comfortable and inviting places to be, there is more pedestrian activity on the street, which in turn promotes more interaction with neighbors, places more "eyes on the street" and encourages residents to use the front areas of their home and front yards ~~more~~.

The use of garage forward design multi-family structures, including duplexes, is not allowed unless the use of garage doors constructed forward of the foundation line of the main structure is unavoidable. If this design is unavoidable, the applicant ~~shall~~ must employ a cohesive design strategy to mitigate their appearance by using three or more of the following measures:

- Install two single garage doors instead of one two-car garage door;
- Use garage doors that break up the mass of the one long wall – this can be accomplished ~~through the use of~~ by using carriage-style doors, multi-paned doors, or doors with windows;
- The finish color be complementary to the structure;
- Design a shed roof or other architectural feature over the top of the garage doors ~~two~~ 2 to ~~three~~ 3-feet deep;
- Relief between the two garage doors;

- Moving the entrances so they are easily seen from the street;
- Putting windows and/or living space above the garage;
- Install-Use different garage techniques for garage doors installed that are adjacent to one another;
- Incorporate a compatible window in the garage so it appears to be a habitable portion of the house; or
- Any other creative design solution(s) to mitigate the garage forward design accepted by the Architectural Review Committee.

#### 6.6.4. Townhouses/Duplexes/Triplexes

Townhouses, duplexes and triplexes are permitted in many zoning districts throughout the City. In addition, depending on the neighborhood, townhouses, duplexes and triplexes may be used as infill housing in neighborhoods traditionally developed with single family detached homes. In order to ensure these projects are consistent and compatible with the surrounding neighborhood character and transition effectively to single family detached homes, the following apply:

- Ensure buildings are pedestrian friendly and contribute to the character of the surrounding neighborhood. Front porches must be emphasized. If no front porch is provided, the front door must be oriented, so it directly faces the street.
- Buildings should be oriented in a way similar with the neighborhood.
- Design of the buildings should reflect architectural styles compatible with the neighborhood and make every attempt to appear like a single-family home.
- Structures located on corner lots shall be designed with pedestrian entries located on opposite street frontages, so the structure appears to be a single-family dwelling. Where no alley is available for vehicular access, separate driveways for each unit should be placed on opposite streets;
- Meet the minimum requirements identified in Appendix C

The enhancement features in Appendix C may also be included to further support a superior design.

#### **6.7. Exterior Materials (color and texture)**

- 6.7.1. Exterior finish building materials should be of a nature in color and texture ~~that is complimentary~~complementary with the structures within each building district. They shall not clash, detract or conflict with adjacent architecture.
- 6.7.2. Acceptable exterior cladding materials should include ~~standard-sized~~properly scaled brick, 1x4, 1x6 or 1x8 horizontal natural wood siding, sawn shingles 1x6 or 1x8 vertical channel natural siding, 1x8 to 1x12 vertical board and batten natural wood siding with 1x2 batts, natural stone veneers, and stucco with wood trim. Other fire resistant and ecological friendly materials may be considered.
- 6.7.3. Wood shingles, vertical wood siding and boards w/ batts are acceptable in gables and upper portions of walls.
- 6.7.4. Exposed plain concrete block, and vinyl cladding are not allowed. Metal siding, Exterior Insulation Finish System (EIFS), composite siding and stone panels are discouraged but may be used at the discretion of the Committee. (Exception: residential buildings of ~~2-units~~ two or more units when located in a strictly residential district may utilize composite sidings such as fiber cement if compatible with neighboring structures.)
- 6.7.5. Acceptable roofing materials shall be ~~sawn wood shingles~~, asphalt composition shingles, metal, ~~or~~ appropriate flat roofing, or other technologically advances products such as solar roof tiles are encouraged.
- 6.7.6. Roofing shall be of colors that ~~compliment~~complement neighboring structures.
- 6.7.7. Mirrored and tinted glazing is ~~discouraged~~not allowed. ~~The tinting of~~ Low-E glass is acceptable.
- 6.7.8. Exterior classic details and elements such as brackets, cornices, window trim, and wall corner boards are encouraged.
- 6.7.9. Higher quality and easily maintained materials are strongly recommended.

**Chapter 7:**  
**Public ~~/~~ and Institutional Facilities**

Public and Institutional Facilities are located throughout the various design districts. These facilities include administrative offices, maintenance buildings, bus barns, schools, park restrooms, park facilities and community buildings. Some of these facilities are designed to be central features of our community, such as a city hall, performing arts center or library. Other structures are not intended for general public use, such as a maintenance facility. Facilities developed with public funds are designed for low-maintenance and long-term use, but still need to incorporate elements from the design district where ~~it~~ they are located.

Goal: Public and Institutional Facilities will be designed to honor the neighborhood where ~~it~~ they are located, relate to the street and surroundings and meet the needs of the community.

DRAFT

## APPENDIX A: GLOSSARY OF ARCHITECTURAL TERMS

This Glossary of Architectural Terms has been assembled in order to assist the reader to better understand the issues addressed and concepts set forth in the Architectural Review Standards.

TERM	DEFINITION
Articulation	<i>Shifts in the plane of the walls, setbacks, stepbacks, reveals, overhangs and details in order to create variations in the building's façade.</i>
Building Elevations	A <del>one-dimensional</del> <u>one-dimensional</u> graphical representation of a proposed building.
Cornice	<i>Any horizontal decorative molding which crowns any building.</i>
Fenestration	<i>Products that fill openings in a building, such as windows, doors, skylights, curtain walls, etc., designed to permit the passage of air, light, vehicles, or people.</i>
Form	<i>The shape, appearance, or configuration, of a building.</i>
Formula Retail	<i>A type of retail sales activity or retail sales establishment, including restaurant which, along with twelve or more other retail sales establishments, maintains two or more of the following features: a standardized array of merchandise, a standardized façade, a standardized décor and color scheme, uniform apparel, standardized signage, a trademark or service mark. See the full definition in <u>§Section-11-9-2, WCC-of-the-Whitefish-Zoning-Regulations.</u></i>
Full Cut-Off Lighting	<i>A luminaire designed and installed where no light is emitted at or above a horizontal plane running through the lowest point on the luminaire.</i>
Gable Roof	<i>The vertical triangular portion of the end of a building <u>with a two-way pitched</u> <del>have a double spaced</del> roof, extending from the level of the cornice or eaves to the ridge of the roof.</i>
Gambrel Roof	<i>A type of gable roof where the end of the building is hipped.</i>
Glazing (mirrored, tinted, Low-E)	<i>A transparent part of a wall usually made of glass.</i>
Hipped Roof	<i>A type of roof where all sides slope downwards to the walls, usually with a <u>fairly gentlegentle</u> slope</i>
Lintel	<i>A horizontal feature (such as a beam) over an opening which carries the weight of the wall above it.</i>

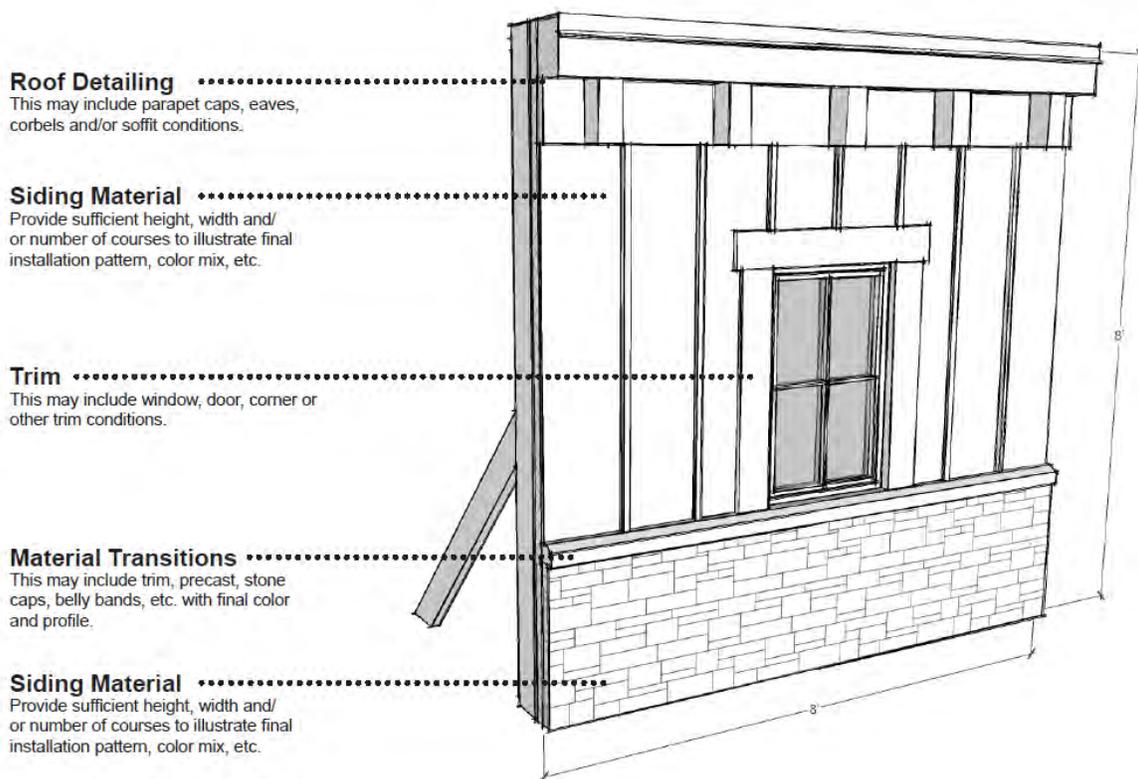
TERM	DEFINITION
Mansard Roof	<i>A type of hip roof characterized by two slopes on each of its four sides with the lower slope being much steeper, almost a vertical wall, while the upper slope, usually not visible from the ground, is pitched at the minimum needed to shed water.</i>
Mass	<i>A building's bulk, size and magnitude – the overall volume.</i>
Mechanical Equipment	<i>Includes venting, heating or cooling equipment used for buildings.</i>
Modulation	<i>Variations of a building's mass <del>through the use of using</del> deep setbacks, diminishing upper floor areas and/or projecting roof overhangs</i>
Neighborhood Context	<i><del>There is a definition of a 'neighborhood' and 'neighborhood service' in the zoning</del> <u>How a project blends into and integrates with the context of the adjacent neighborhood and uses.</u></i>
Pedestrian Spaces	<i>Any open area designed to be used for pedestrians, including, but not limited to a plaza, walkway, etc.</i>
Perspective Drawing	<i>A <del>three-dimensional</del> <u>three-dimensional</u> graphical representation of a proposed building.</i>
Relief, Architectural	<i>A change in the setback (forward or back) to a vertical façade.</i>
Roof Pitch	<i>A roof's pitch is the measured vertical rise divided by the measured horizontal span.</i>
Scale	<i>The spatial relationship of a building with neighboring buildings.</i>
Shed Roof	<i>Single pitched roof</i>
Sky Glow	<i>A kind of light pollution visible by the 'glowing' effect seen in the skies over many cities and towns.</i>
Sonotubes	<i>A concrete form used for a foundation.</i>

## APPENDIX B: Required Mock-Up Installation

**PURPOSE:** The purpose of a mock-up is to provide visual confirmation of the design intent not otherwise portrayed at the time of formal application.

**REQUIREMENTS FOR A MOCK-UP:** A mock-up must accurately represent the applicant's final material selections, the material installations and shall include the following information:

- Size – The dimensions are not stipulated but should be adequate to show the details of the materials – 8-feet x 8-feet is typical.
- Materials – Show all typical construction on the building façade, including but not limited to primary siding materials, siding transitions, trim, exposed flashings, typical fenestration, eave, canopy or other major appurtenance detailing. Full-scale materials should be provided where feasible.
- Detailing – Accurate representations of transitions between materials must be provided.
- Color – Accurate color with variation patterns such as variegated brick or stone must be shown.



**SCHEDULING COMMITTEE REVIEW OF MOCK-UP:** The applicant is responsible for scheduling Committee review of the mock-up during the time of construction on-site but must be prior to exterior materials installation. The review will occur with a quorum of the Committee and City staff.

**COMMITTEE REVIEW OF MOCK-UPS:** In accordance with Section 2.7.5. *Committee Review*, the Committee must approve, table or deny the mock-up. If the mock-up matches the formal application, review must be reasonably limited to color, detailing and information not otherwise supplied during initial approval. Substitutions of materials made after formal application and project approval must be reviewed during a Committee meeting as an amendment to the original application and not during the mock-up review. Partial mock-up approvals may be considered by the Committee in order to allow construction to continue. Those items tabled or denied must not be installed until final approval is provided.

DRAFT

APPENDIX C: Townhouse, Duplex and Triplex Minimum Requirements

How to Label for Appendix? **DESIRED FEATURES for DUPLEX, TOWNHOUSE & TRIPLEX BUILDINGS**



**PLANNING & BUILDING DEPARTMENT**  
**PO Box 158**  
**418 E Second**  
**Whitefish, MT 59937**  
**(406) 863-2410 Fax (406) 863-2409**



Date: August 28, 2020  
To: Advisory Agencies & Interested Parties  
From: Whitefish Planning & Building Department

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The regular meeting of the Whitefish Planning Board will be held on Thursday, September 17, 2020 at 6:00 pm in the Whitefish City Council Chambers at **418 E Second Street**. During the meeting, the Board will hold a public hearing on the items listed below. Upon receipt of the recommendation from the Planning Board, the Whitefish City Council will hold a subsequent public hearing for items 1 and 2 on Monday, October 5, 2020 and item 3 on Monday, October 19, 2020. City Council meetings start at 7:10 pm at **418 E Second Street** in the Whitefish City Council Chambers on the second floor.

1. A request by Jake Carter for a Conditional Use Permit to construct a commercial parking lot associated with the professional office at 307 Spokane Avenue. The property is zoned WR-4 (High Density Multi-Family Residential District). The property is located at 312 Kalispell Avenue and can be legally described as Lots 3-6, Block 51 Original Whitefish Townsite in S36, T31N, R22W, P.M.M., Flathead County. (WCUP 20-13) Taylor
2. A request by Doug Hickok for a Conditional Use Permit to construct a guest house at 1632 W Lakeshore Drive. The property is zoned WR-1 (One-Family Residential District) and can be legally described as Lot 2A, Lake Park Addition Amended Lots 2 & 3 in S23, T31N, R22W, P.M.M., Flathead County. (WCUP 20-14) Compton-Ring
3. A request by the City of Whitefish for a Zoning Text Amendment to the Architectural Review Standards. (WZTA 20-04) Compton-Ring

Documents pertaining to these agenda items are available for review at the Whitefish Planning & Building Department, 418 E Second Street, during regular business hours, and the application and site plans are available [HERE](#). The full application packet along with public comments and staff report will be available on the City's webpage: [www.cityofwhitefish.org](http://www.cityofwhitefish.org) under Planning Board six days prior to the Planning Board public hearing date noted above. Inquiries are welcomed. Depending on state-wide directives, if a live meeting is held, interested parties are encouraged to send in written comments rather than attending the meeting in person due to the public health crisis. There may be restrictions in place limiting the number of people in any given room, although accommodations will be made for public comment. Comments in writing may be forwarded to the Whitefish Planning & Building Department at the above address prior to the hearing or via

email: [dtaylor@cityofwhitefish.org](mailto:dtaylor@cityofwhitefish.org). For questions or further information regarding these proposals, phone 406-863-2410.

**From:** [Devin Stus](#)  
**To:** [Wendy Compton-Ring](#)  
**Subject:** Changes to Architectural Standards & legacy comments  
**Date:** Tuesday, October 6, 2020 12:00:43 PM

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Hi Wendy,

I noticed there are proposed changes to the Architectural Standards. I am not sure if it's too late or if my opinion matters not being a "resident" but I thought I would provide and hopefully you can pass along to decision makers if time permits or let me know where I should send.

Having just completed a 12 unit long term rental apartment at 718 Edgewood Pl. I have reviewed the changes to the Architectural Standards through the lens of hoping to develop a similar project. Sadly the changes being proposed along with other City of Whitefish programs make a long term rental development too cost-prohibitive. All the changes being proposed that impact a multifamily development have either added cost associated with them or make my recently past build not acceptable in some manner which in turn adds more cost or reduces units and makes the economics fail. One of the major items is that buildings need to be stepped down, if my interpretation is right this would mean that I couldn't build a 3 storey on that same lot which is zoned for a 3 storey. That would kill the economics of a project that was already barely profitable (being completely honest).

I was able to develop my previous property prior to the legacy homes rules. While I understand the intent of those rules it is very unfortunate and I believe to be short sighted that a punitive approach is being taken against development. With these rules in place the affordability gap will only increase, see example below. The homes or condos being developed and sold have a higher margin than is the case for a rental apartment that has a very longterm payback. The houses being sold can afford to pay in lieu or sell 20% at affordable levels because they are immediately passing the shortfall onto the buyers at a higher price. Whitefish area is fortunate the market is hot right now and those buyers are taking on that increased price.

One way to look at it is if I building 10 houses and I am selling the house for \$10 and need to profit \$1 per house. With the legacy program 20% of the houses now have zero profit so I need to make that profit on the remaining 8 houses or \$1.25 per door. Now the selling price of the average home needs to be \$10.25 or higher. This increased the gap between affordability and the new average home price. Since the majority of sales in Whitefish are vacation or investment this gap will continue to increase due to this program. It is too bad that a reward wasn't considered for affordable housing or even just for longterm rental housing because it is always going to lend itself to working people in the area. An example might be property tax breaks, development fee breaks, anything that would motivate developers to invest in this product by making it more advantageous instead of less. When inventory of rental increases this works to hold rental price increases. In the current situation there will be no new inventory due the legacy program and rent will increase at a great rate than the regular market.

The recent update to the legacy homes rent and payment in lieu might be market driven but in the short period show a significant increase. If I take that new data and plug either the rental rates for 20% of the units or the payment in lieu into my appraisal for my recently completed building economics do not work.

I love Whitefish and have visited for many years. I chose to build an apartment for financial/business benefit and to hopefully visit more but also because I thought I could build a nice new product and offer at a decent price level to help the community that I love to visit, enjoy and see others enjoy. I offer this as food for thought as I believe your intentions are great but the plan in place is not going to yield the results you believe.

Sincerely,

Devin Stus, P. Eng.

[Modus Ventures Corp.](#)

**Engineered Real Estate Development, Consulting, Private Equity Partnership**



[Schedule Meeting, Call, Screen Share](#)



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# CITY MANAGER'S REPORT

October 13, 2020



## COVID-19 PANDEMIC

Community spread continues to increase in Flathead Valley. The City has issued another video as part of our Community Update Series in partnership with the Whitefish Convention and Visitors Bureau to urge citizens and visitors to help slow the spread of COVID-19. We are recommending that families find alternatives to traditional trick-or-treating, which has been deemed high risk by the CDC during the pandemic. We also would like to remind adults to plan a costume that includes a face covering and to remember to social distance while enjoying our downtown businesses. The City does not issue a special event permit for Halloween, nor have we had any requests so far this year. Therefore, it is up to each business to participate in any Halloween traditions, such as trick-or-treating on Central Avenue or providing any entertainment.

We are monitoring the potential new restrictions proposed by the Flathead City-County Health Officer that will be considered by the Board of Health on October 15<sup>th</sup>. The detailed proposals can be found at [www.flatheadhealth.org](http://www.flatheadhealth.org) on the Board of Health's agenda. We will respond with additional outreach once a decision is made.

City Hall will remain closed through October 18<sup>th</sup>. We are hopeful for a reopening to the public on October 19<sup>th</sup> pending confirmation there are no new cases among City staff. Notice of the decision to reopen will be posted later this week.

## MEETINGS.

On October 8<sup>th</sup> the Whitefish Strategic Housing Plan Steering Committee held its monthly meeting remotely via WebEx. The annual affordable housing report and the proposed updates from an annual review of the Legacy Homes Program required an additional meeting to be scheduled on Tuesday October 13<sup>th</sup> due to the in-depth discussions and considerations by the committee. These two reports will be reviewed during the City Council work session on October 19<sup>th</sup> and are included in the City Council packet.

From October 6<sup>th</sup> through October 9<sup>th</sup>, I attended the virtual Montana League of Cities and Towns Annual Conference, along with certain Department Directors and other City staff. This was another great conference and tailored to our specific situations here in Montana.

## NEXT CITY COUNCIL MEETING

The next City Council meeting will be held remotely via WebEx on Monday, November 2<sup>nd</sup>. For the work session, the City Council will interview interested individuals for board and committee openings. A discussion on the Resort Tax extension and re-allocation may occur as well pending available time.

Respectfully submitted,

A handwritten signature in cursive script that reads "Dana".

Dana M. Smith, CPA  
City Manager